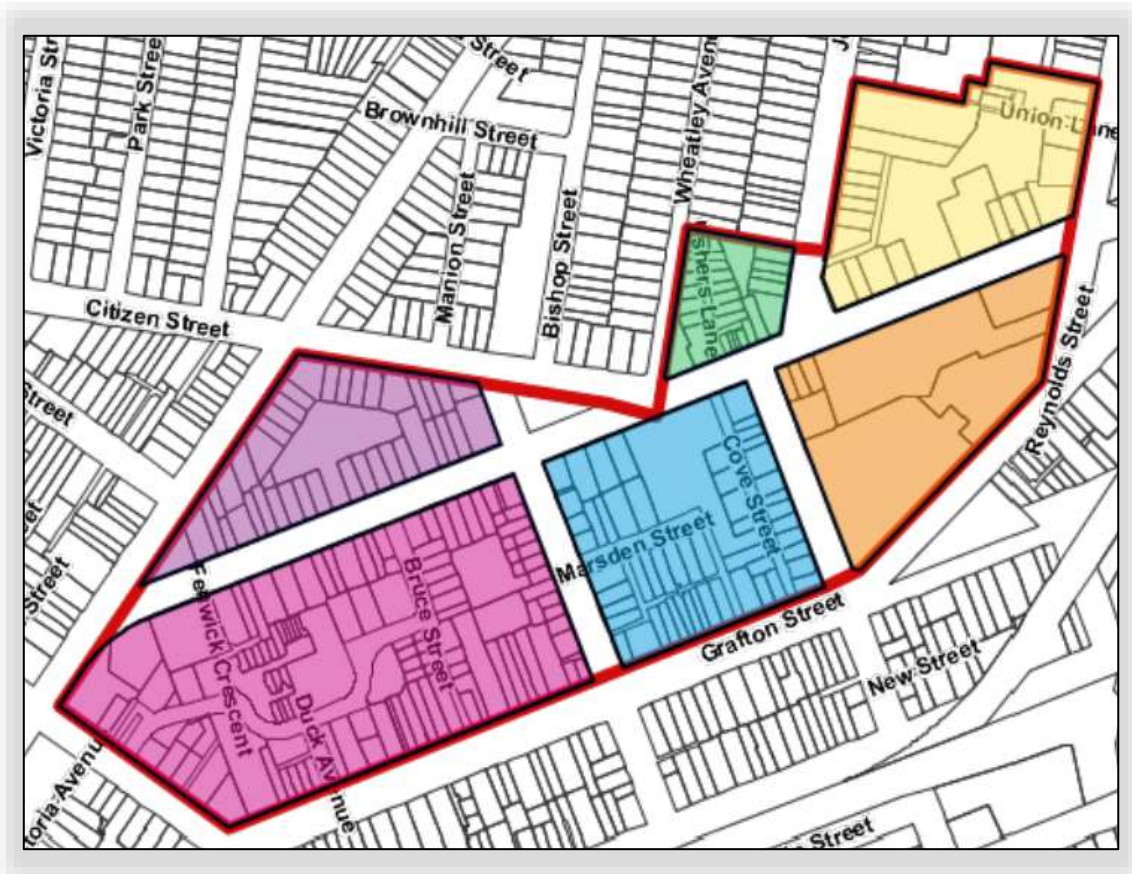




Pathway to Transformation

Part 1: *Understanding Place*

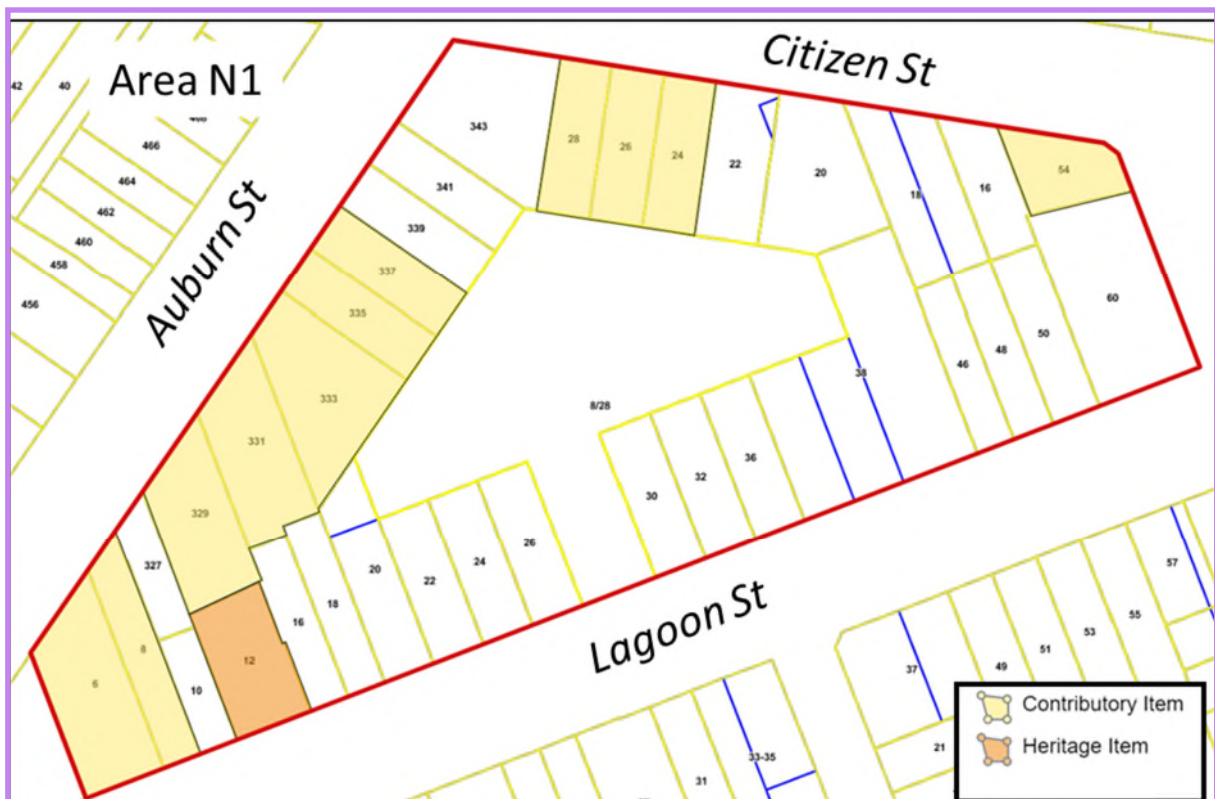
Individual Property Character Assessment Northern Gateway Precinct



Assessment Area N1: Northern Gateway Precinct

Included Streets:

- Lagoon Street
- Auburn Street
- Cole Street
- Citizen Street





Northern Conservation Area
Area N1
Character Assessment Proforma

6 Lagoon Street
Contributory Item

Inter
war



Lot size/ area	910m ²
Frontage width	21.3m
Lot depth	54m
Front setback	4.1m
Rear setback	20.6m
Approx. FSR	0.29:1

A single storey 1920s hybrid style bungalow. This property has vehicular access to the rear on- to Auburn Street.

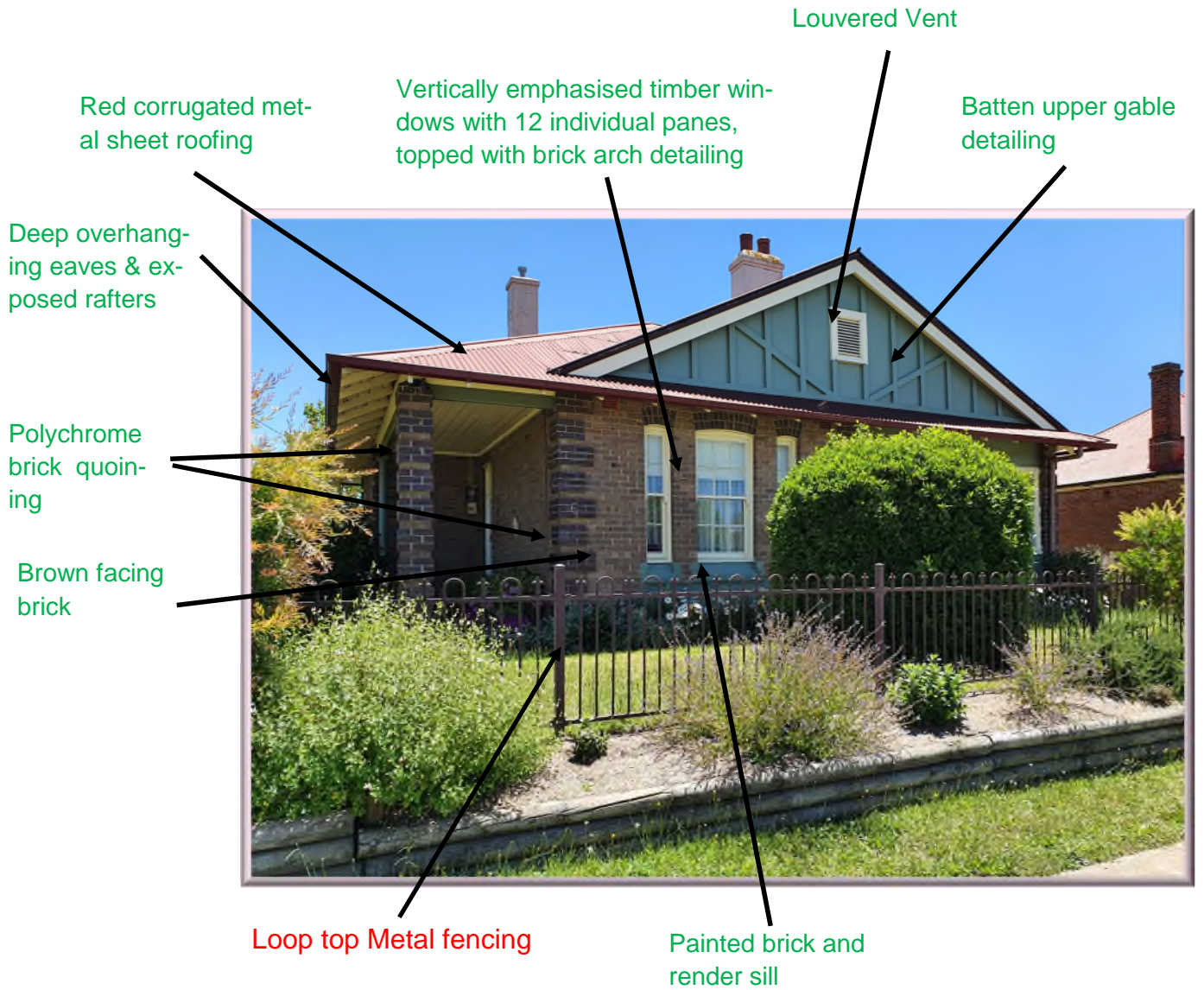
Distinctive and unique in the streetscape.

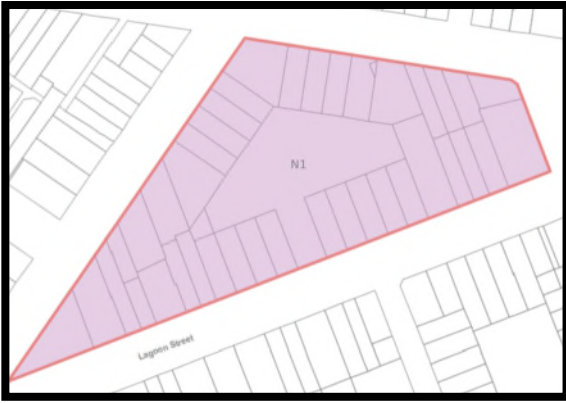
Illustrates a hybrid of characteristics from different periods including Georgian styled windows, an Edwardian chimney with some Californian bungalow features such as the Batten detailing on gable.



Northern Conservation Area
Area N1
Character Assessment Proforma

6 Lagoon Street
Contributory Item





Northern Conservation Area
Area N1
Character Assessment Proforma

8 Lagoon Street
Contributory Item

Federation



Lot size/ area	520m2
Frontage width	10m
Lot depth	61m
Front set-back	4.4m
Rear setback	31.1m2
Approx. FSR	0.38:1

Typical Federation Cottage with an intact façade.

This buildings significance lies not only in its architectural detailing and contribution to the streetscape but also its close physical association with the grouping of Federation cottages on the opposing side of Lagoon Street.

The property is sited on a long rectangular plot with available rear access possible from Auburn Street.

Front boundary wall is of a 1940/50's design and materials which is represented elsewhere on Lagoon Street but is not a characteristic of a typical Federation property.



Northern Conservation Area
Area N1
Character Assessment Proforma

8 Lagoon Street
Contributory Item

Short sheet, red painted galvanised steel

Vertically emphasised timber 3 casement windows with transom lights and coloured glass detailing

Finial

Timber boarding on end of gable

Transom light and sidelights around

Detailed timber frieze with fret-work

Mono-pitched window awning with timber brackets

Common red facing brick dressed with red face brick quoins

Painted brick & render sill



Low red brick wall with bullnose coping stones



Northern Conservation Area
Area N1
Character Assessment Proforma

10 Lagoon Street

Inter
war



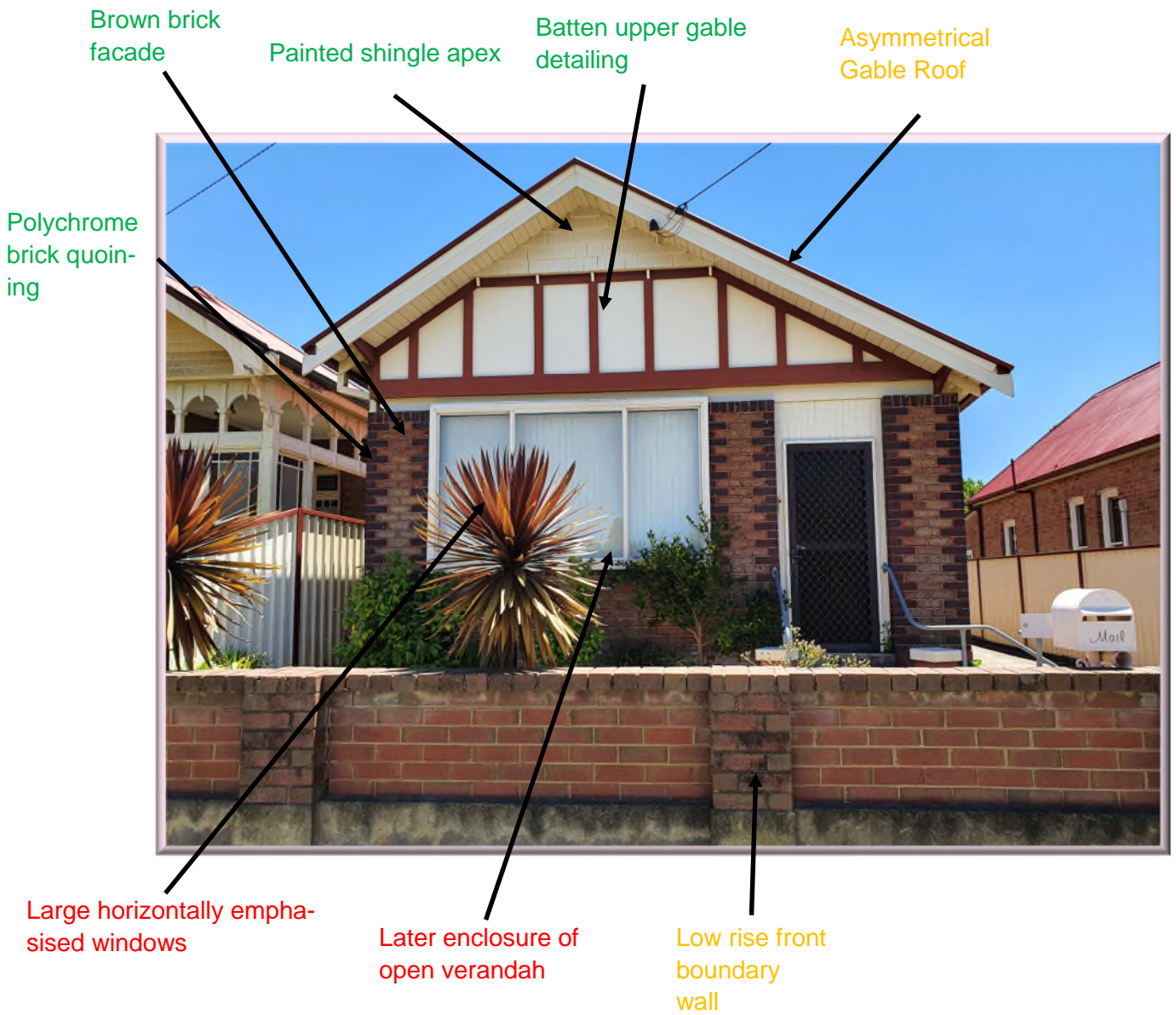
Lot size/ area	306m ²
Frontage width	10m
Lot depth	30.8m
Front set-back	2.6m
Rear setback	6.8m
Approx. FSR	0.55:1

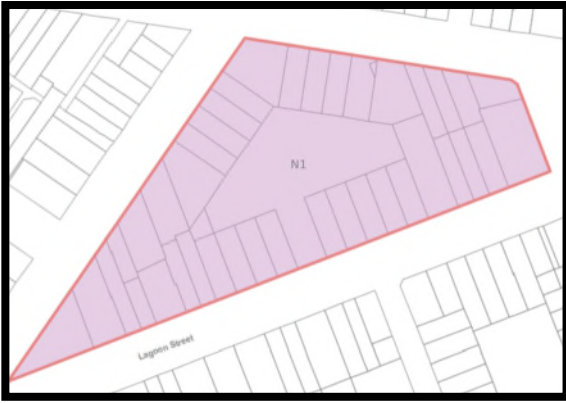
Californian Bungalow style frontage on an older building.
Rear outbuilding with matching roof



Northern Conservation Area
Area N1
Character Assessment Proforma

10 Lagoon Street





Northern Opportunity Precinct
Area N1
Character Assessment Proforma

12 Lagoon Street
Heritage Item

Federation



Lot size/ area	696.5m ²
Frontage width	20.3m
Lot depth	35.5m
Front setback	2.9m
Rear setback	14.7m
Approx. FSR	0.33:1

A Single Storey Federation residential property which has been converted to office use.

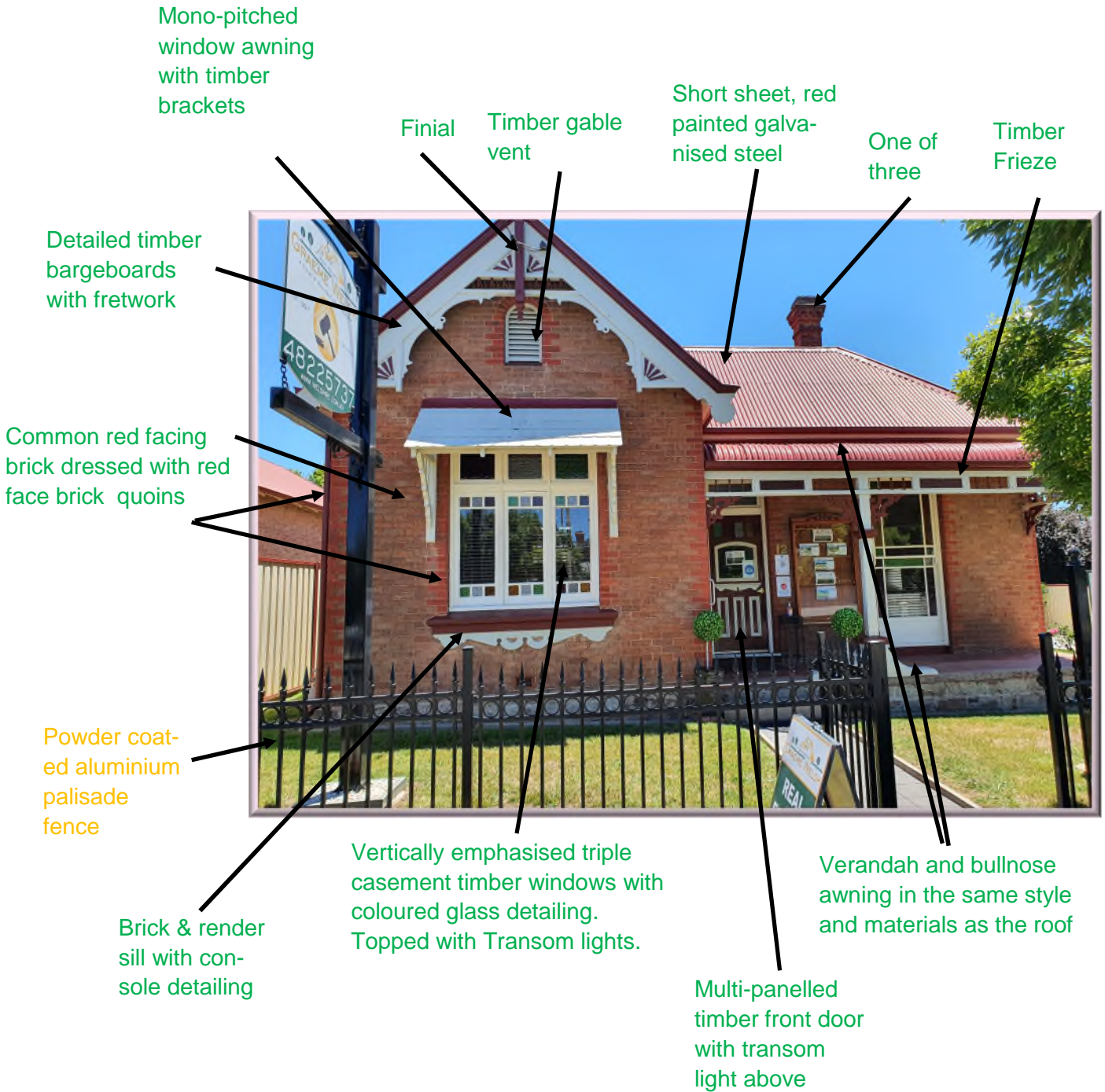
The garage is setback behind the rear building line of the property, reducing its prominence on the streetscape.

Significance lies in tis exemplary Federation styling and fine timber detailing. Makes a strong statement in the streetscape. Coloured window panes are a feature of the dwelling. A skillion extension visible at the rear.



Northern Opportunity Precinct
Area N1
Character Assessment Proforma

12 Lagoon Street
Heritage Item

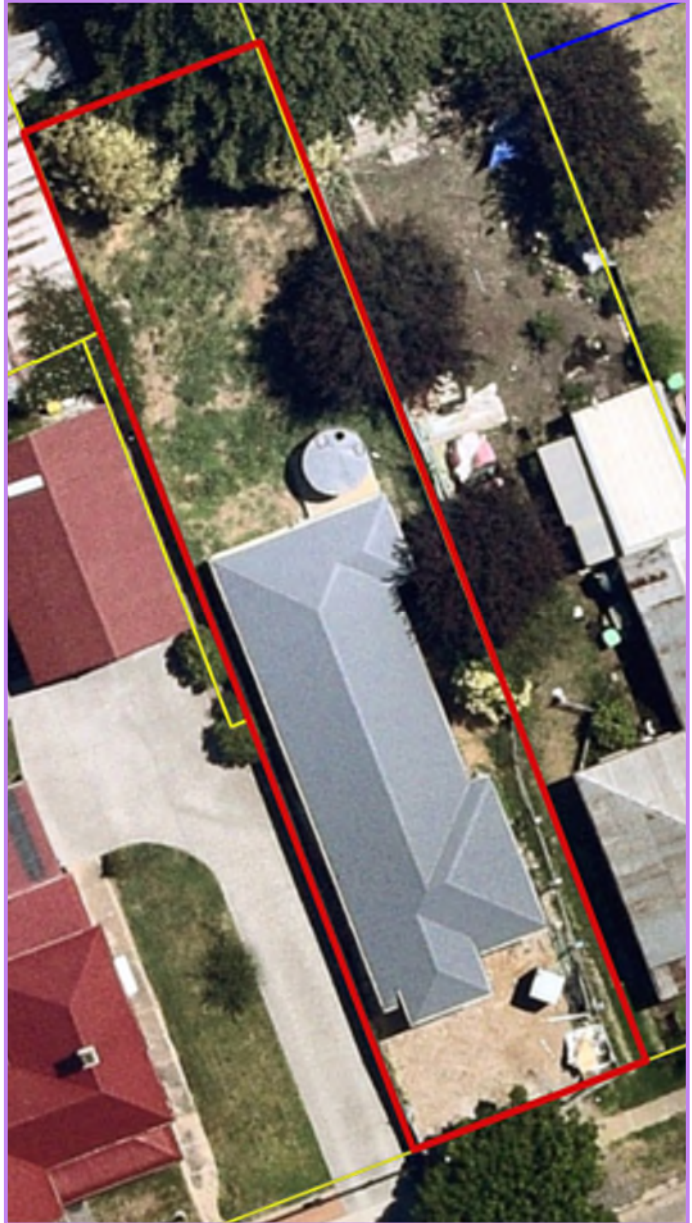




Northern Conservation Area
Area N1
Character Assessment Proforma

16 Lagoon Street

Post
2000's



Lot size/ area	439.5m
Frontage width	10.2m
Lot depth	44.4m
Front set-back	N/a
Rear setback	N/a
Approx. FSR	0:1





Northern Conservation Area
Area N1
Character Assessment Proforma

16 Lagoon Street





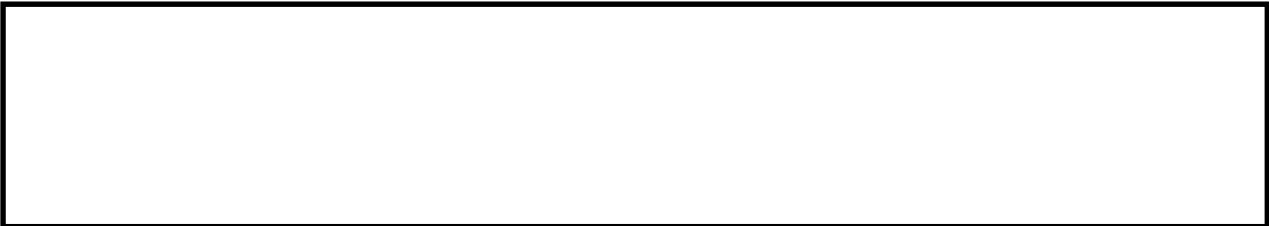
Northern Conservation Area
Area N1
Character Assessment Proforma

18 Lagoon Street

Inter
war



Lot size/ area	463.7m ²
Frontage width	10m
Lot depth	46.8m
Front set-back	2.2m
Rear setback	21m
Approx. FSR	0.35:1





Northern Conservation Area
Area N1
Character Assessment Proforma

18 Lagoon Street





Northern Conservation Area
Area N1
Character Assessment Proforma

20 Lagoon Street

Inter
war



Lot size/ area	694.5m
Frontage width	13.5m
Lot depth	56.6m
Front set-back	2.4m
Rear setback	24.3m
Approx. FSR	0.19:1

Covers over two lots with limited development to the rear of the property.
 1930`s dwelling.
 Asymmetrical building form with projecting front gable



Northern Conservation Area
Area N1
Character Assessment Proforma

20 Lagoon Street





Northern Conservation Area
Area N1
Character Assessment Proforma

22 Lagoon Street

Inter
war



Lot size/ area	540m ²
Frontage width	13.5m
Lot depth	39.75m
Front set-back	3.2m
Rear setback	18.1m
Approx. FSR	0.30:1

Skillion rear extension.
Asymmetrical building form with projecting front gable.
Simple direct path from pavement to the front door.



Northern Conservation Area
Area N1
Character Assessment Proforma

22 Lagoon Street

Vertically emphasised, three casement timber windows with six individual panes

Bullnose awning matching main roof

Grey corrugated sheet metal roofing



Window Shutters

Cream weatherboarded facade

Side lights to one side of the door

Simple timber columns one to awning edge and one framing the front door



Northern Conservation Area
Area N1
Character Assessment Proforma

24 Lagoon Street

Inter
war



Lot size/ area	540m ²
Frontage width	13.5m
Lot depth	39.75m
Front set-back	2.2m
Rear setback	19.2m
Approx. FSR	0.47:1

Driveway to the side with garage sited on the rear lot boundary .

Property includes solar panels but these are not prominent in the street scape.

Shares the same front set back with adjacent property 26 Lagoon Street and of a similar style and proportions .

Property has a c.1920`s frontage on an older cottage.



Northern Conservation Area
Area N1
Character Assessment Proforma

24 Lagoon Street

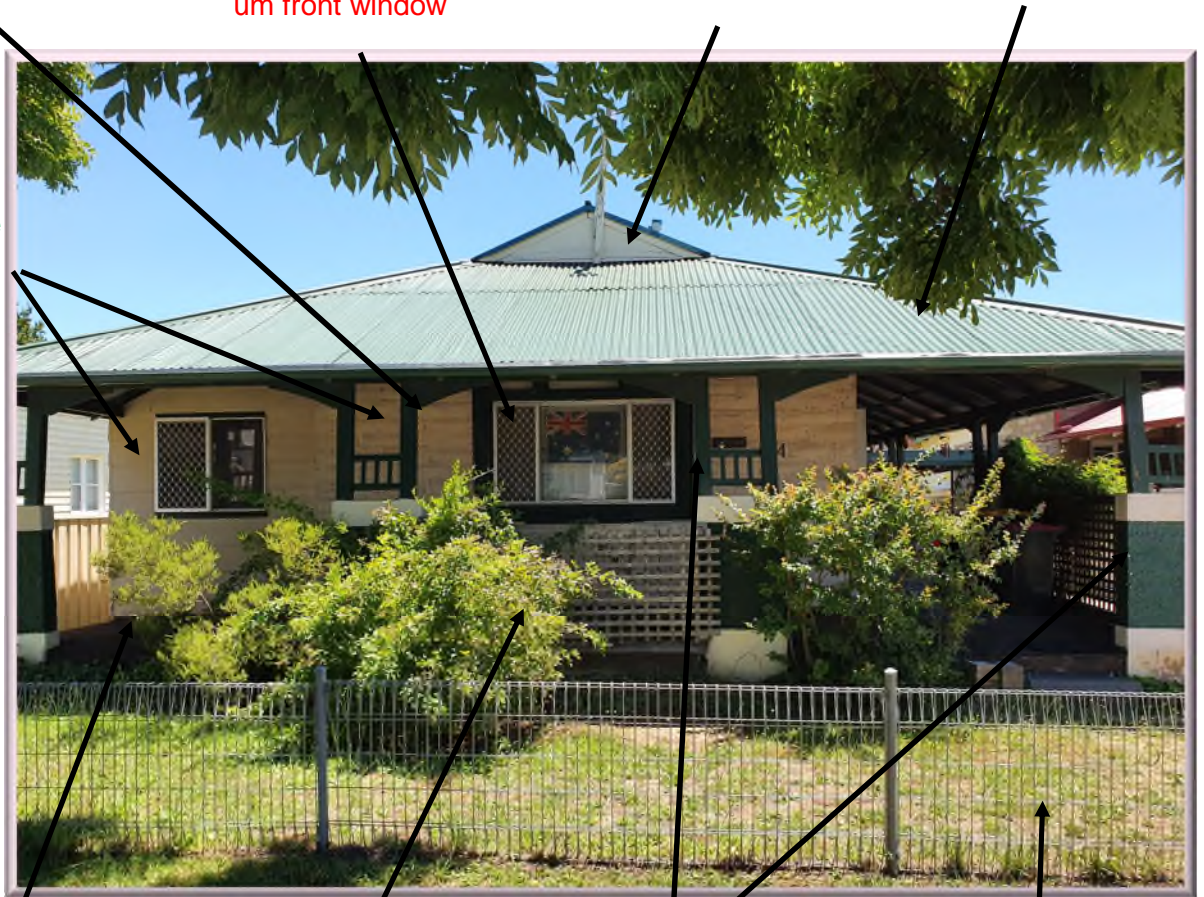
Wide plane hipped roof with deep eaves forming continuous roof over verandah

Horizontally emphasised aluminium front window

Covered gable vent

Green corrugated sheet metal sheet roof

Painted stone and weather-board facade



Deep wrap around verandah

Timber lattice balustrade

Large masonry piers supporting double timber columns

Metal mesh and pole fencing



Northern Conservation Area
Area N1
Character Assessment Proforma

26 Lagoon Street

Inter
war



Lot size/ area	537.5m ²
Frontage width	13.7m
Lot depth	39.75m
Front set-back	2.2m
Rear setback	15.8m
Approx. FSR	0.48:1

Driveway to the side with garage sited on the rear lot boundary

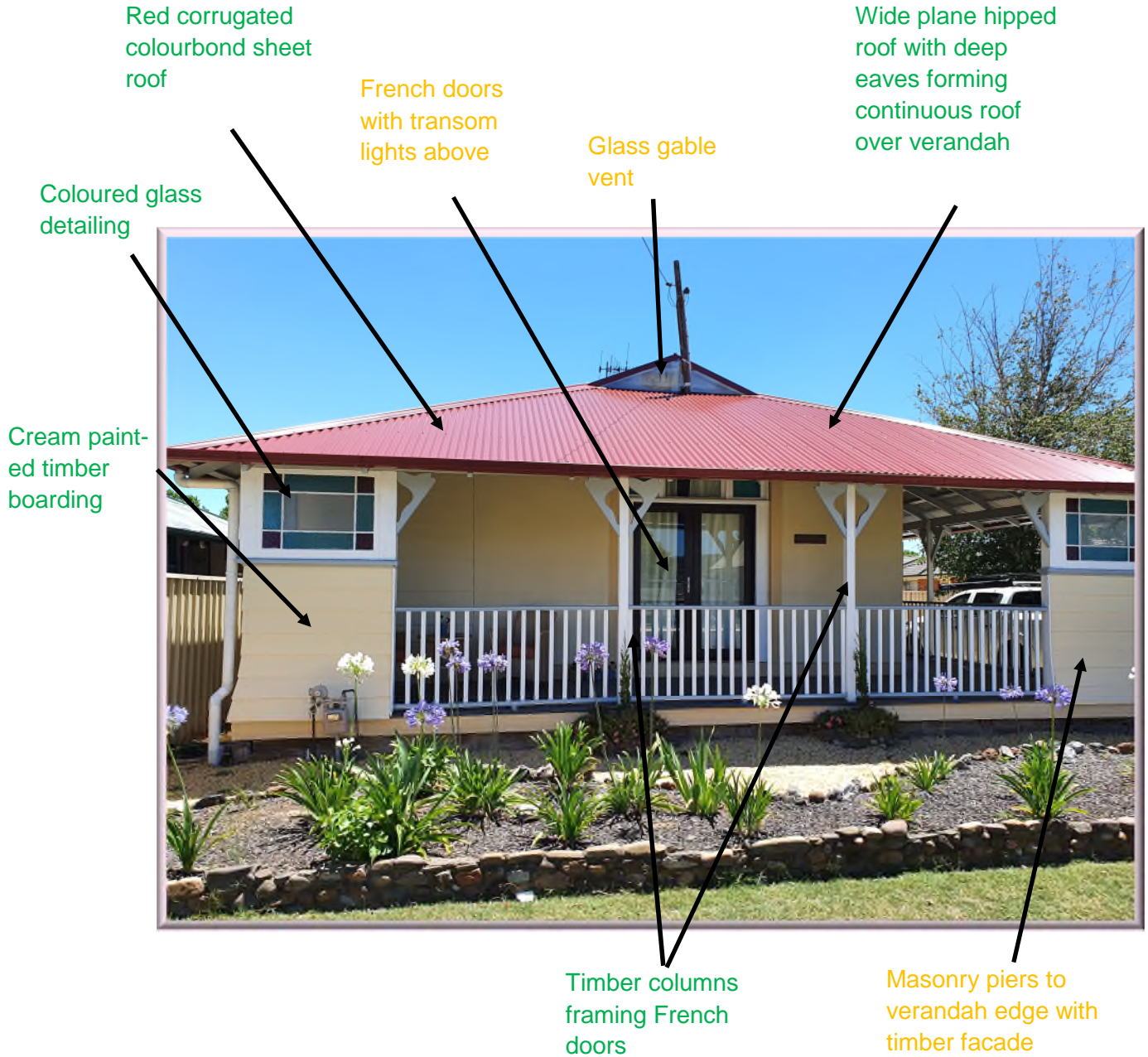
Shares the same front set back with adjacent property 24 Lagoon Street and of a similar style and proportions

Property has a c.1920's frontage on an older cottage.



Northern Conservation Area
Area N1
Character Assessment Proforma

26 Lagoon Street





Northern Conservation Area
Area N1
Character Assessment Proforma

28 Lagoon Street

1960's to
1990's



Lot size/ area	2600
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	0.43:1

Lead property to the development has a poor relationship with the street facing toward the access road rather than lagoon street.

Large lot and single storey nature of the current development which contributes little to the conservation area lends itself to being suitable to accommodate higher density residential development.

21 single storey residences of similar size and proportion.



Northern Conservation Area
Area N1
Character Assessment Proforma

28 Lagoon Street





Northern Conservation Area
Area N1
Character Assessment Proforma

30 Lagoon Street

Federation



Lot size/ area	540m2
Frontage width	13.7m
Lot depth	39.75m
Front set-back	2.1m
Rear setback	21.6m
Approx. FSR	0.33:1





Northern Conservation Area
Area N1
Character Assessment Proforma

30 Lagoon Street

Grey corrugated metal sheet roof

One continuous roof form projects to form the verandah awning.

Metal horizontally emphasised windows

Lattice balustrade

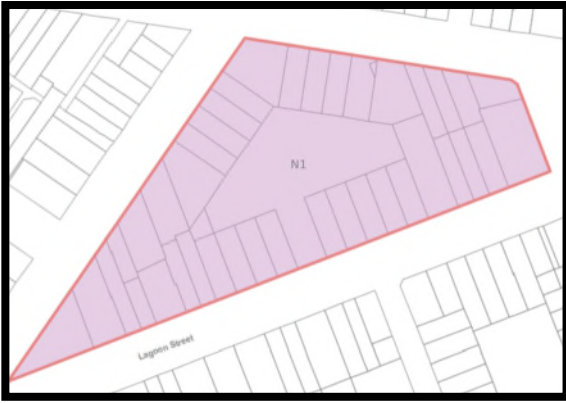


Simple direct path from pavement to front door

Masonry piers with double timber columns

White/cream timber picket fence with spear tips

White weatherboarding on facade



Northern Conservation Area
Area N1
Character Assessment Proforma

32 Lagoon Street

Federation



Lot size/ area	537.5m ²
Frontage width	13.7
Lot depth	39.75m
Front set-back	2.4m
Rear setback	23.8m
Approx. FSR	0.29:1

Simple pitched roof

This property shares many of the same features and is of the same proportions as adjacent property 36 Lagoon Street, including front and rear set backs .



Northern Conservation Area
Area N1
Character Assessment Proforma

32 Lagoon Street

Grey corrugated metal sheet roof

Timber lattice work to front porch gable with small attached awning

Transom light above a narrow door.

Timber three paned vertically emphasised windows



White weatherboarded facade

Low height stone-look concrete blocks

Wire mesh gate

Simple direct path from pavement to front door

Stone-look concrete block piers with supporting timber columns supporting a projecting gable roof line to form a porch



Northern Conservation Area
Area N1
Character Assessment Proforma

36 Lagoon Street

Federation



Lot size/ area	537.5m ²
Frontage width	13.6m
Lot depth	39.75m
Front set-back	2.3m
Rear setback	22.2m
Approx. FSR	0.25:1

This property shares many of the same features and is of the same proportions as adjacent property 32 Lagoon Street, including front and rear set backs .



Northern Conservation Area
Area N1
Character Assessment Proforma

36 Lagoon Street

Timber lattice work to front verandah gable with small attached awning

Transom light above a narrow door.

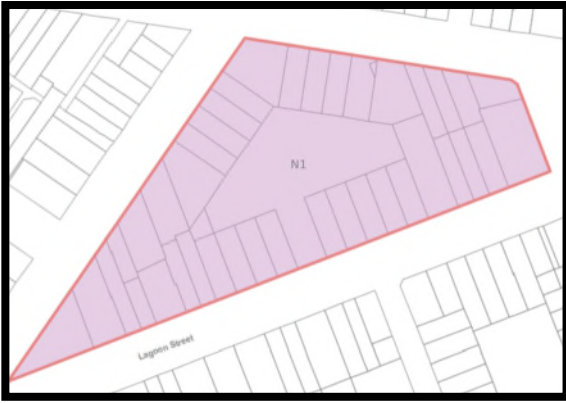
Grey corrugated metal sheet roof

White weath-erboarded facade

Wire mesh fencing



Tall masonry piers supporting verandah edges



Northern Conservation Area
Area N1
Character Assessment Proforma

38 Lagoon Street

1960's to
1990's



Lot size/ area	2333m ²
Frontage width	473m
Lot depth	62m
Front set-back	
Rear setback	
Approx. FSR	0.34:1

This large site is currently occupied by a Panel beaters. Whilst intermittent commercial uses along Lagoon Street is a feature of its historical development, this site presents a potential land use conflict with adjacent existing development. This could be exacerbated by further residential intensification in the area. The site covers three lots and with an area over 2000m² presents an opportunity for redevelopment to residential uses.



Northern Conservation Area
Area N1
Character Assessment Proforma

38 Lagoon Street





Northern Conservation Area
Area N1
Character Assessment Proforma

46 Lagoon Street

Inter
war



Lot size/ area	452m ²
Frontage width	10m
Lot depth	44.8m
Front set-back	1.5m
Rear setback	31m
Approx. FSR	0.25:1

Double gable 1920s bungalow
Hipped roof to main dwelling



Northern Conservation Area
Area N1
Character Assessment Proforma

46 Lagoon Street

Flat roof porch/
verandah span-
ning over the front
gable window

Timber lattice vent
to gable apex

Painted batten upper
gable detailing

Three case-
ment timber
windows



Wire mesh fencing

Visible air conditioning
unit from pavement

White weath-
erboarded
facade



Northern Conservation Area
Area N1
Character Assessment Proforma

48 Lagoon Street

Interwar



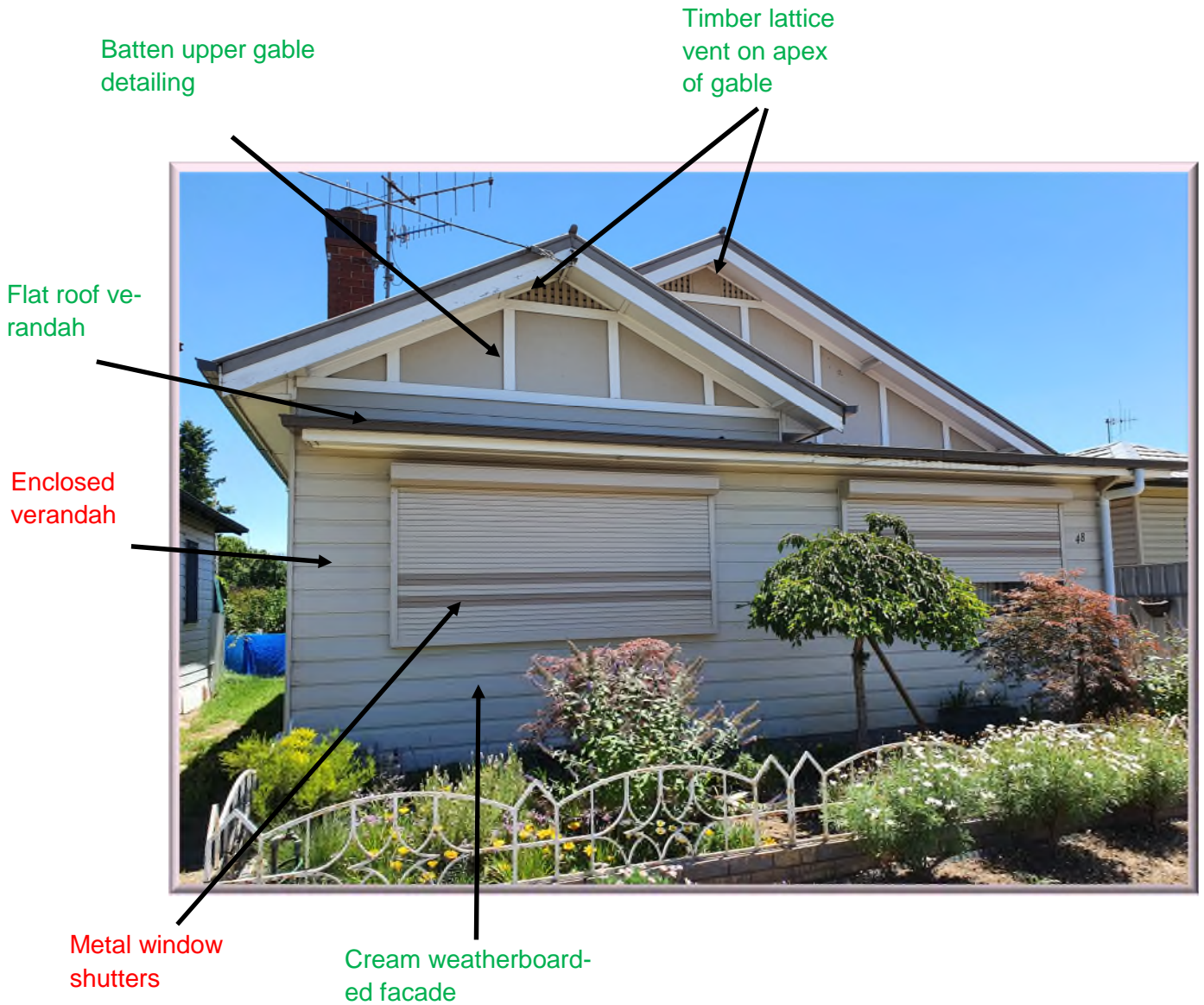
Lot size/ area	480.6m ²
Frontage width	10.7m
Lot depth	44.8m
Front set-back	1.7m
Rear setback	28.6m
Approx. FSR	0.38:1

Double gables
 Interwar—1920s bungalow



Northern Conservation Area
Area N1
Character Assessment Proforma

48 Lagoon Street





Northern Conservation Area
Area N1
Character Assessment Proforma

50 Lagoon Street

**Post
War**



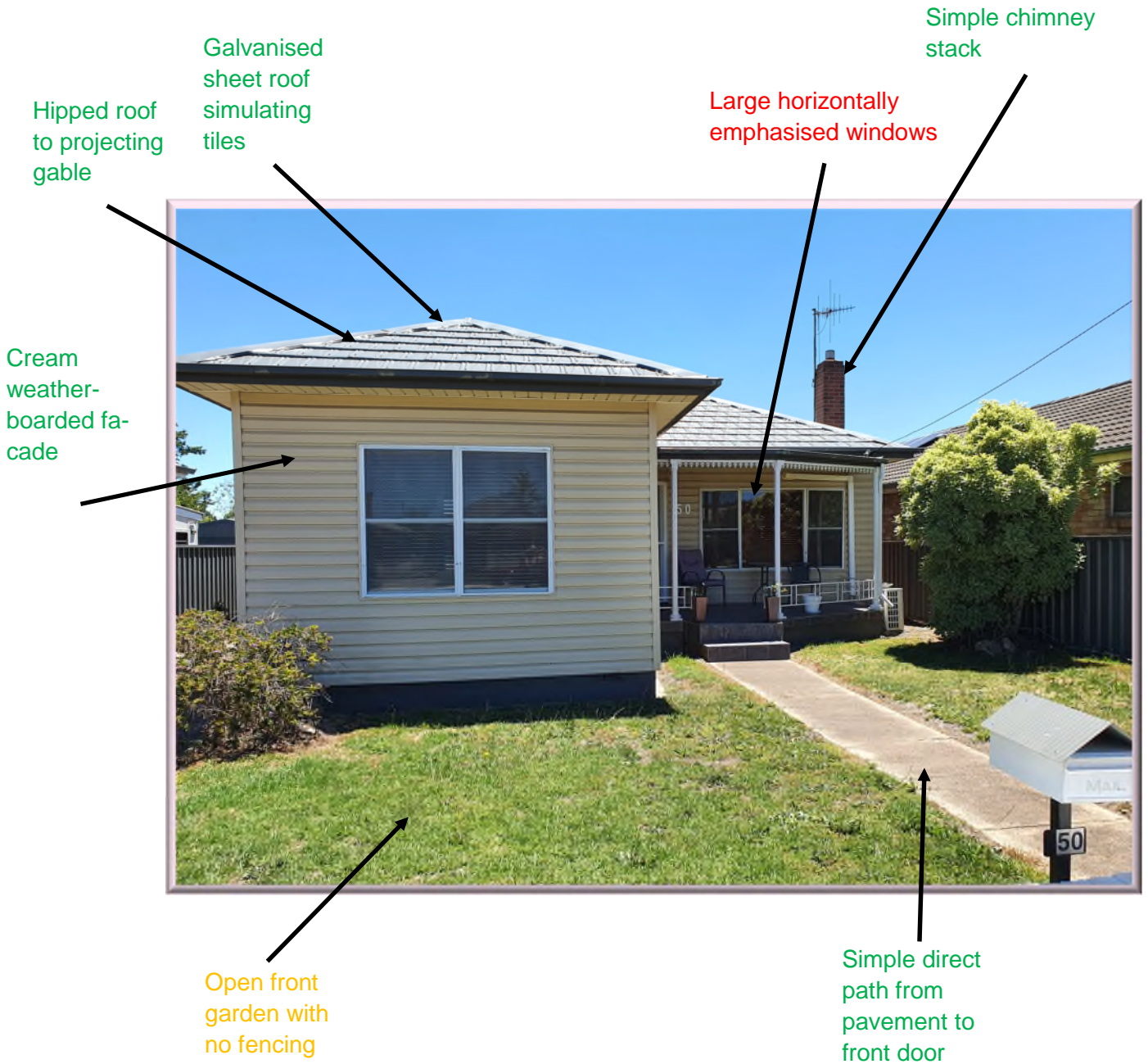
Lot size/ area	573m ²
Frontage width	12.8m
Lot depth	44.8m
Front set-back	4.7m
Rear setback	22.3m
Approx. FSR	0.34:1

Post war



Northern Conservation Area
Area N1
Character Assessment Proforma

50 Lagoon Street





Northern Conservation Area
Area N1
Character Assessment Proforma

60 Lagoon Street

1960's to
1990's



Lot size/ area	1366m ²
Frontage width	
Lot depth	52m
Front set-back	3m
Rear setback	0.4m
Approx. FSR	0.52:1

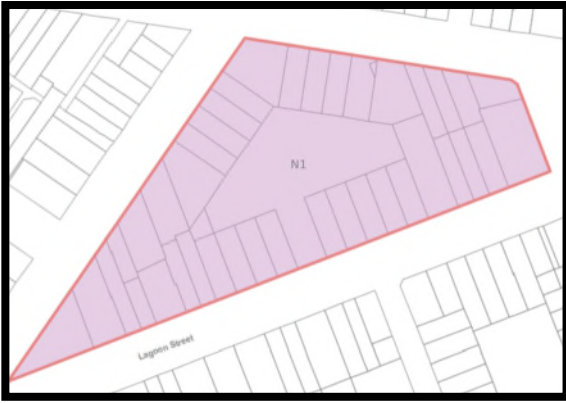
This large prominent corner site provides the opportunity for redevelopment to a residential use which constitutes highly visible, high quality development. The dual road frontage would assist in this aim.



Northern Conservation Area
Area N1
Character Assessment Proforma

60 Lagoon Street





Northern Conservation Area
Area N1
Character Assessment Proforma

54 Cole Street
Contributory Item

Inter
war



Lot size/ area	480.6m2
Frontage width	
Lot depth	26.5m
Front set-back	4.2m
Rear setback	8m
Approx. FSR	0.33:1

Classic Mid 1920`s California style bungalow.
 Double gable



Northern Conservation Area
Area N1
Character Assessment Proforma

54 Cole Street
Contributory Item

Substantial masonry piers with twin columns supporting flat roof verandah

Batten upper gable detailing

Timber lattice vent on gable apex

Red corrugated metal sheet roofing

Flat window awning

Contrasting brick quoining



Wire mesh front fence

Simple direct path from pavement to front door



Northern Conservation Area
Area N1
Character Assessment Proforma

16 Citizen Street

**Post
War**



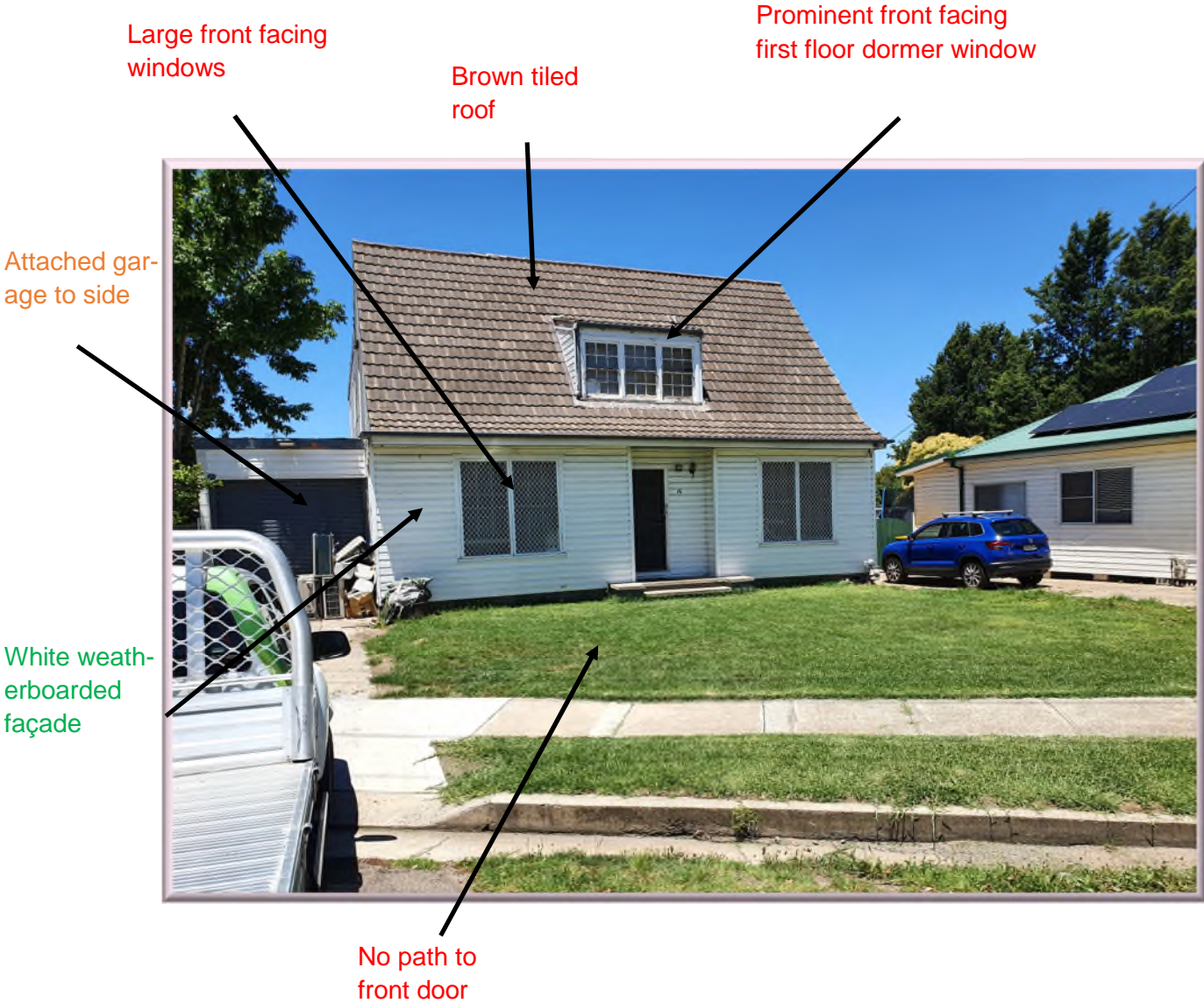
Lot size/ area	482.2m ²
Frontage width	16m
Lot depth	39.5m
Front set-back	7.5m
Rear setback	12.3m
Approx. FSR	

Cape Cod attic conversion— a previously modest cottage which has been extended.



Northern Conservation Area
Area N1
Character Assessment Proforma

16 Citizen Street





Northern Conservation Area
Area N1
Character Assessment Proforma

18 Citizen Street

**Post
War**



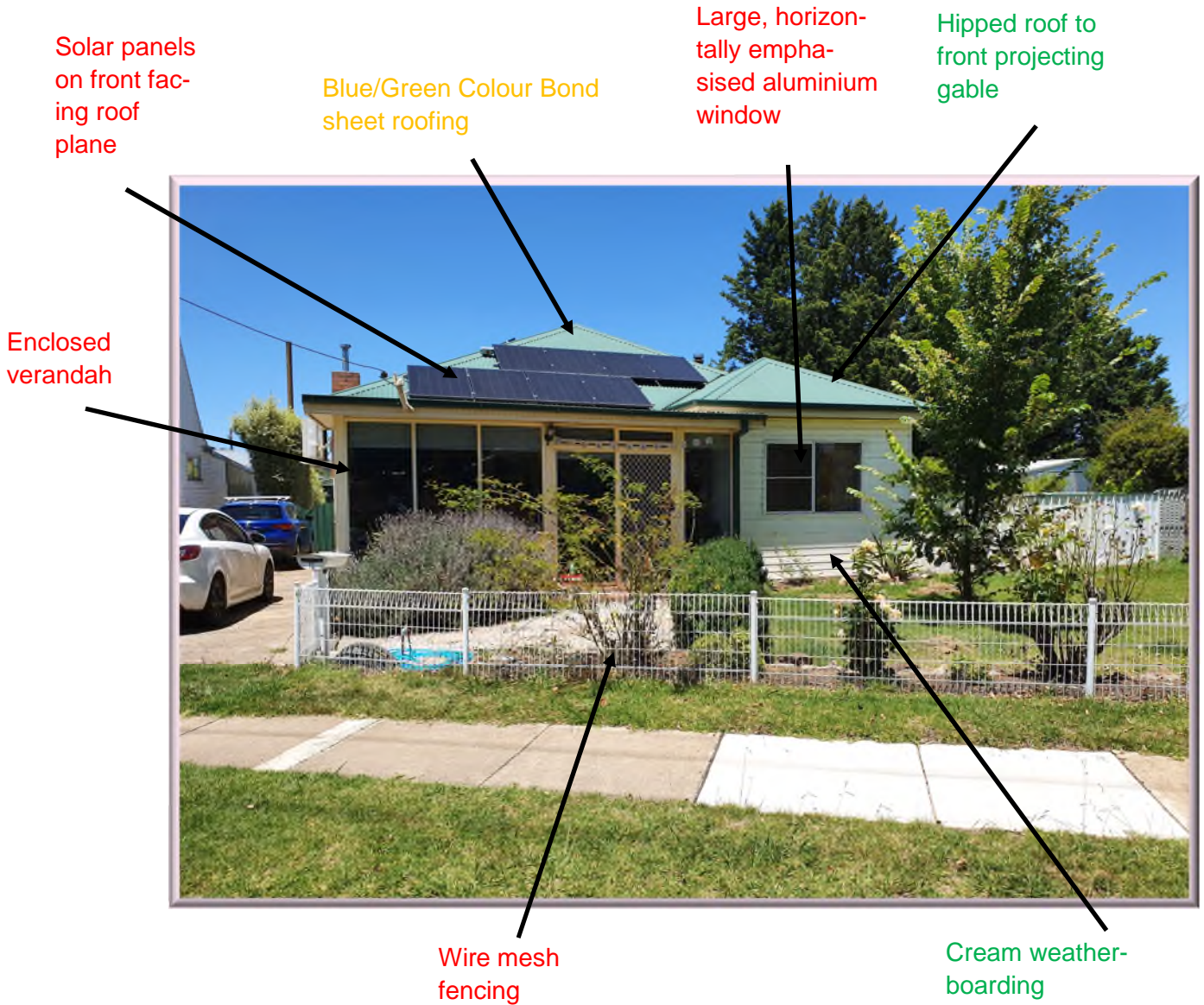
Lot size/ area	496.3m ²
Frontage width	23.9m
Lot depth	51.25m
Front set-back	5.3m
Rear setback	16.1m
Approx. FSR	0.50:1

Post war. Sited over two lots. Garage set back near to the rear lot boundary accessed via driveway to the side of the property.



Northern Conservation Area
Area N1
Character Assessment Proforma

18 Citizen Street





Northern Conservation Area
Area N1
Character Assessment Proforma

20 Citizen Street

1960's to
1990's



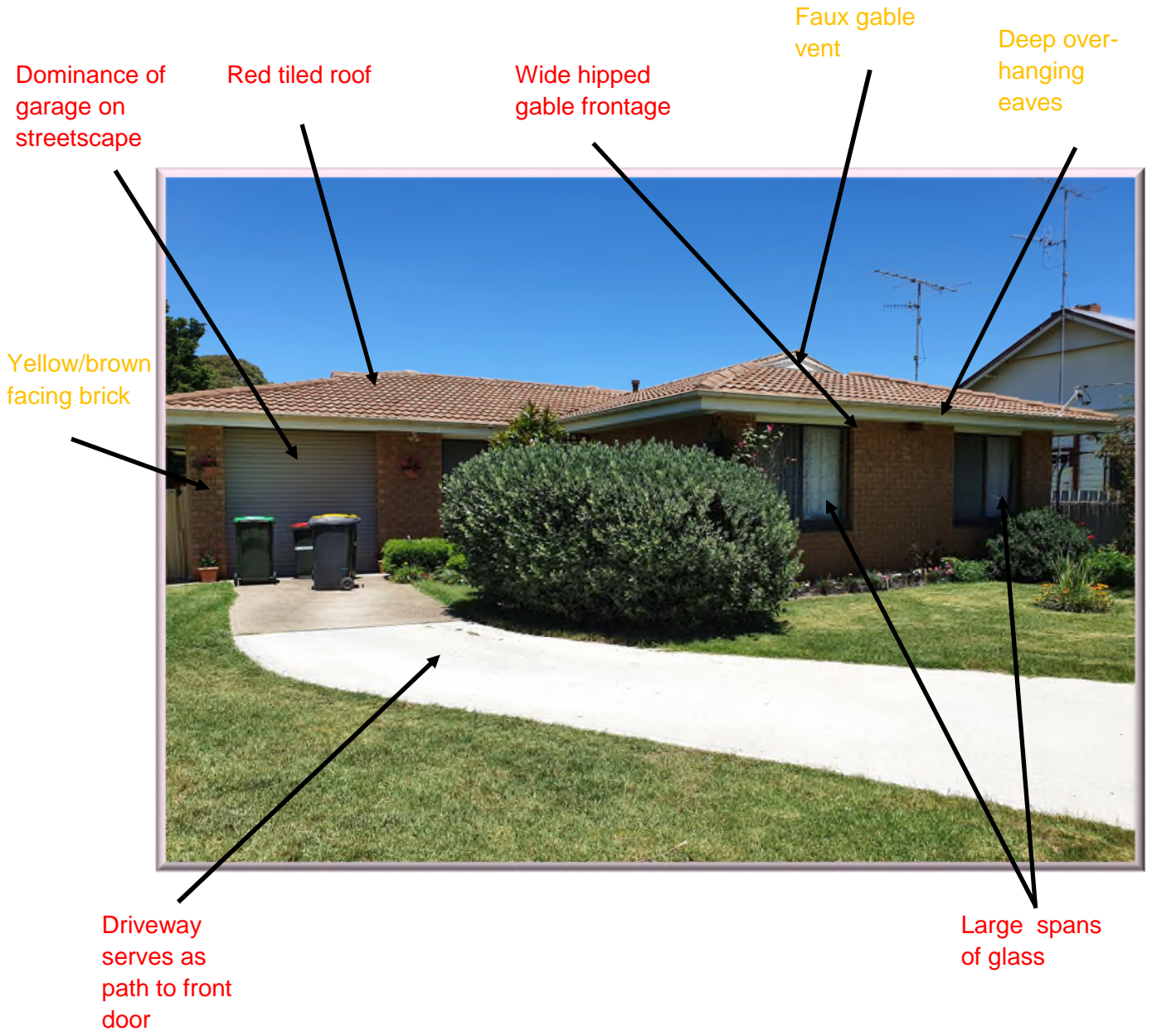
Lot size/ area	980.1m2
Frontage width	16.4m
Lot depth	39.5m
Front set-back	5.8m
Rear setback	16.1m
Approx. FSR	0.26:1





Northern Conservation Area
Area N1
Character Assessment Proforma

20 Citizen Street





Northern Conservation Area
Area N1
Character Assessment Proforma

22 Citizen Street

Inter
war



Lot size/ area	651.2m ²
Frontage width	16.5m
Lot depth	39.4m
Front set-back	3.1m
Rear setback	19.2m
Approx. FSR	0.27:1





Northern Conservation Area
Area N1
Character Assessment Proforma

22 Citizen Street





Northern Conservation Area
Area N1
Character Assessment Proforma

24 Citizen Street
Contributory Item

Inter
war



Lot size/ area	531.4m ²
Frontage width	13.4m
Lot depth	39.4m
Front set-back	3.2m
Rear setback	18.1m
Approx. FSR	0.42:1

One of three 1930's cottages grouped together and built at the same time (24,26 & 28 Citizen Street)

Their significance is partly derived from their association with one another. The properties each share the architecturally styling, materials and proportions of the post ward period. Each of the three properties stand on lots of the same area and share the same front and rear setbacks.

24 Citizen Street has been recently restored which has its enhanced its contribution to the streetscape and serves as an example for future restoration of the other two properties in this grouping.



Northern Conservation Area
Area N1
Character Assessment Proforma

24 Citizen Street
Contributory Item

Blue/Grey Colourbond sheet roofing with continuous span of roof plane over verandah

Three casement timber windows

Hipped front gable roof

Mono-pitched window awning with timber brackets

Four Casement timber windows



Weather-boarded facade

Simple timber columns one to awning edge and one framing the front door

Direct path from pavement to front door

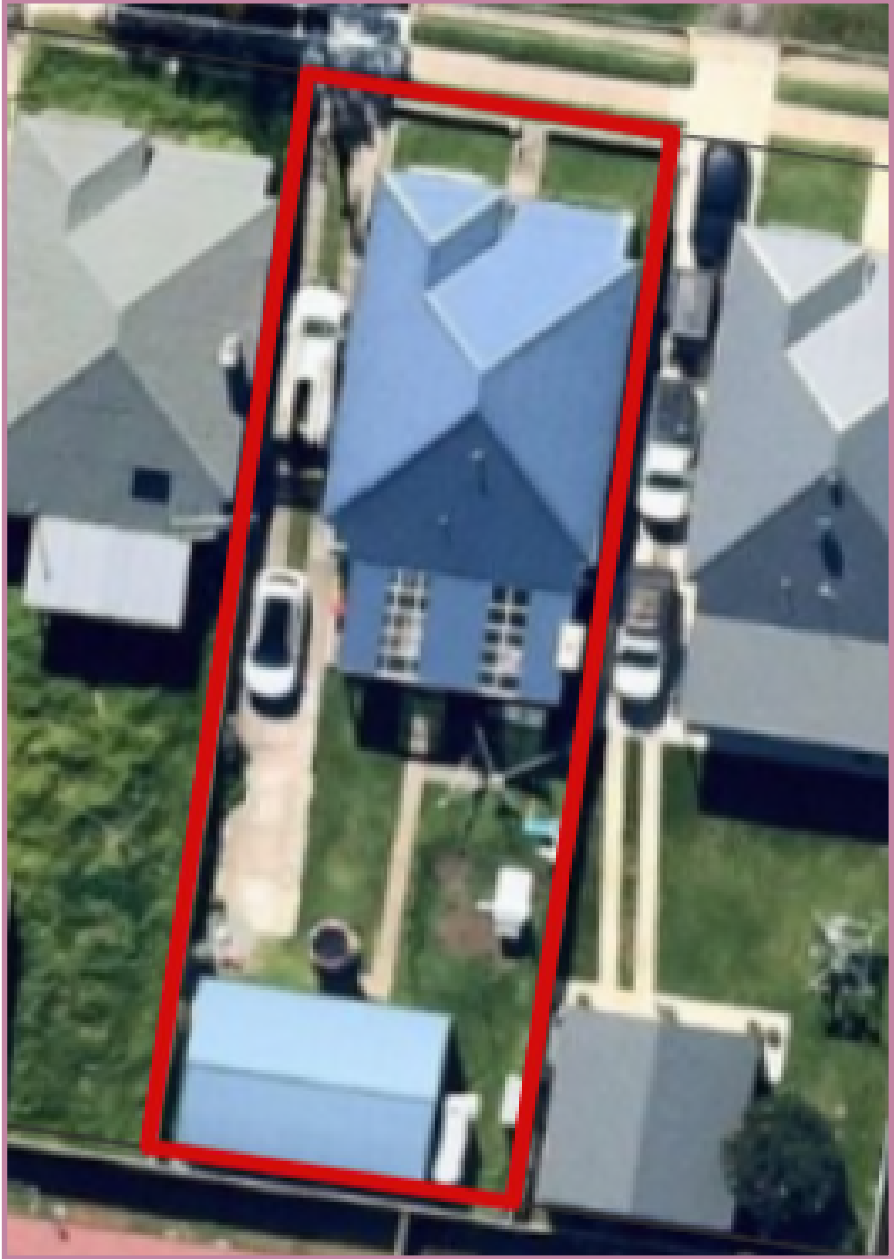
Rendered and painted foundation plinths



Northern Conservation Area
Area N1
Character Assessment Proforma

26 Citizen Street
Contributory Item

Inter
war



Lot size/ area	531.1m ²
Frontage width	13.4m
Lot depth	39.4m
Front set-back	2.9m
Rear setback	18.1m
Approx. FSR	0.43:1

One of three 1930's cottages grouped together and built at the same time (24,26 & 28 Citizen Street)

Their significance is partly derived from their association with one another. The properties each share the architectural styling, materials and proportions of the post ward period. Each of the three properties stand on lots of the same area and share the same front and rear setbacks.



Northern Conservation Area
Area N1
Character Assessment Proforma

26 Citizen Street
Contributory Item

Blue Colour Bond sheet roofing with continuous span of roof plane over verandah

Hipped front gable roof

Mono-pitched window awning with timber brackets

Four casement timber windows



Enclosed Verandah

Low rise yellow brick front wall

Direct path from pavement to front door

Weatherboard facade



Northern Conservation Area
Area N1
Character Assessment Proforma

28 Citizen Street
Contributory Item

Inter
war



Lot size/ area	531.1m2
Frontage width	13.4m
Lot depth	39.4m
Front set-back	2.9m
Rear setback	18.7m
Approx. FSR	0.37:1

One of three 1930's cottages grouped together and built at the same time (24,26 & 28 Citizen Street)

Their significance is partly derived from their association with one another. The properties each share the architectural styling, materials and proportions of the post ward period. Each of the three properties stand on lots of the same area and share the same front and rear setbacks.

28 citizen street has been modified over time but the majority of these modifications are reversible which would serve to enhance its contribution to the grouping of properties and the streetscape of Citizen Street.



Northern Conservation Area
Area N1
Character Assessment Proforma

28 Citizen Street
Contributory Item

Grey corrugated metal sheet roofing with continuous span of roof plane over verandah

Hipped front projecting gable

Mono-pitched window awning with side supports

Large, horizontally emphasised modified window



Enclosed verandah

Wire mesh fencing

No direct path to the front door

Weatherboarded facade



Northern Conservation Area
Area N1
Character Assessment Proforma

343 Auburn Street

Inter
war



Lot size/ area	1016m ²
Frontage width	
Lot depth	39.4m
Front set-back	7.5m
Rear setback	15m
Approx. FSR	0.33:1

Double gable
 Highly modified 1920`s California bungalow style dwelling with 1970`s/80`s additions.



Northern Conservation Area
Area N1
Character Assessment Proforma

343 Auburn Street

White/cream
brick facing
facade

Lacework
around porch

Large mono-
pitched win-
dow awning

Large replacement
windows, enclosing
verandah



Wrought iron
and brick front
boundary wall—
1920`s/30`s

Painted brickwork

Direct path from
pavement to front
door



Northern Conservation Area
Area N1
Character Assessment Proforma

341 Auburn Street.

Inter
war



Lot size/ area	515.2m ²
Frontage width	13m
Lot depth	39.4m
Front set-back	4.1m
Rear setback	13.7m ²
Approx. FSR	0.47:1

Inter-war housing



Northern Conservation Area
Area N1
Character Assessment Proforma

341 Auburn Street.

Broader flatter gable

Flat window awning with dual timber supports

Panted timber boarding at gable apex

Timber frieze with additional detailing

Painted brick quoining

Cream painted Stucco

Lower red facing brick



Timber corbels supporting a 3 casement timber box window

Timber picket-fencing

Deep shaded verandah with skillion roof



Northern Conservation Area
Area N1
Character Assessment Proforma

339 Auburn Street

Inter
war



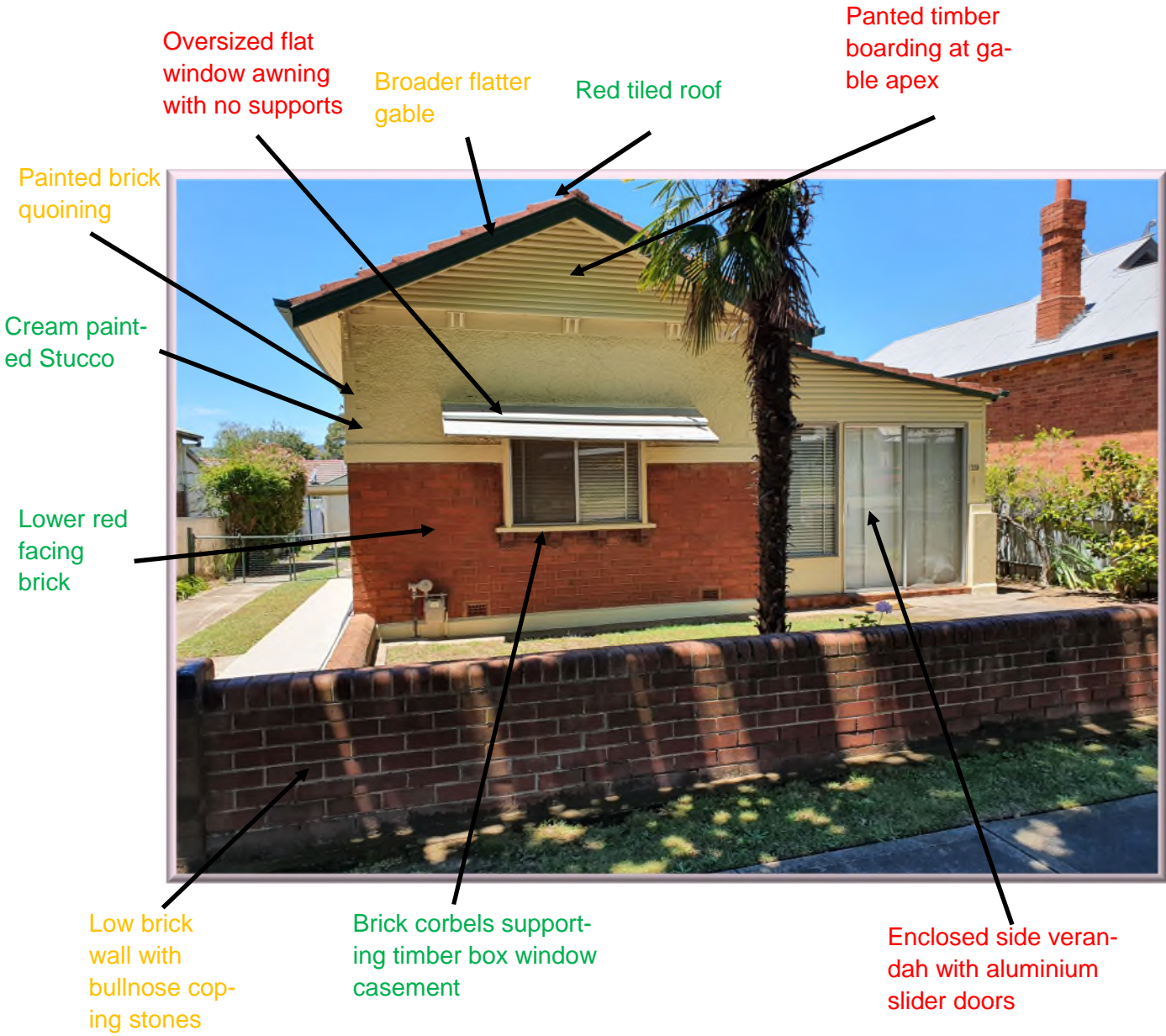
Lot size/ area	512.2m ²
Frontage width	13m
Lot depth	39.4m
Front set-back	4.1m
Rear setback	16.7m
Approx. FSR	0.38:1

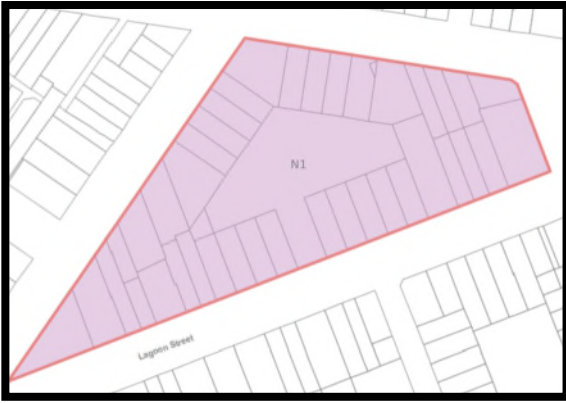
Inter-war
 Odd proportions and odd stylistically
 A morphing of styles between the federation style and Californian bungalow style.
 Garage aligns with rear building line accessed via a simple side driveway



Northern Conservation Area
Area N1
Character Assessment Proforma

339 Auburn Street





Northern Conservation Area
Area N1
Character Assessment Proforma

337 Auburn Street.
Contributory Item

Federation



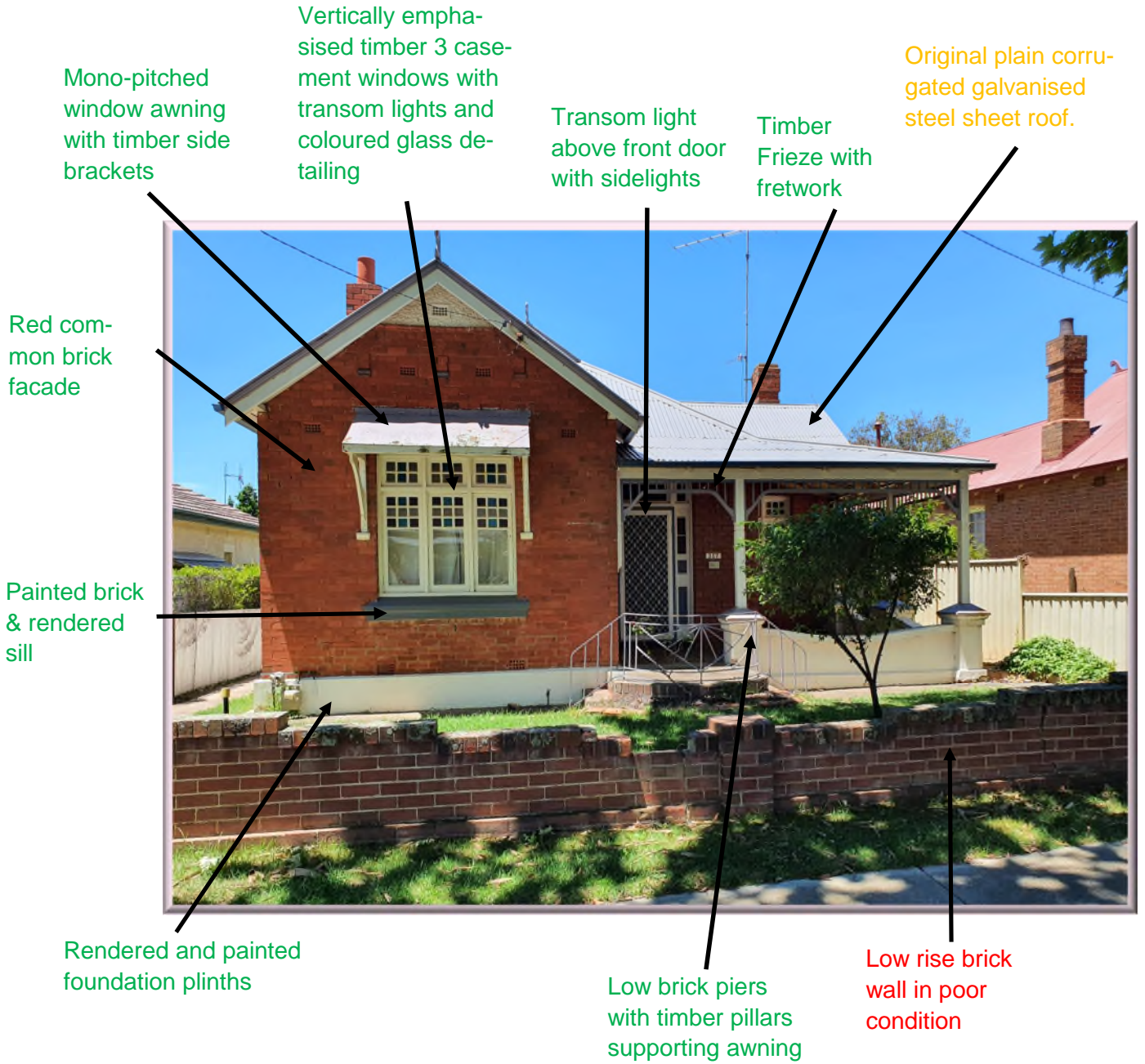
Lot size/ area	524.9m ²
Frontage width	13.3m
Lot depth	39.4m
Front set-back	4.5m
Rear setback	14.1m
Approx. FSR	0.46:1

Asymmetrical building form with projecting front gable
 Brick piers and low brick wall support two simple timber posts supporting the awning at the corner and framing the front door.
 Edwardian Villa



Northern Conservation Area
Area N1
Character Assessment Proforma

337 Auburn Street.
Contributory Item





Northern Conservation Area
Area N1
Character Assessment Proforma

335 Auburn Street
Contributory Item

Federation



Lot size/ area	524.9m ²
Frontage width	13.3m
Lot depth	39.4m
Front set-back	5m
Rear setback	19.9m
Approx. FSR	0.32:1

Brick piers and low brick wall support simple timber posts supporting the awning at the corner and framing the front door.



Northern Conservation Area
Area N1
Character Assessment Proforma

335 Auburn Street
Contributory Item

Common red brick façade dressed with red brick quoining

Mono-pitched window hood with timber fan detailing on timber brackets

Timber front door with panelling and side light

Timber frieze

Red corrugated metal sheet roofing



Wrap-around verandah

Painted rendered brick sill

Vertically emphasised timber 3 case-ment windows with transom lights

Low rise brick wall with piers, corbel-ling and bullnose coping stones



Northern Conservation Area
Area N1
Character Assessment Proforma

333 Auburn Street
Contributory Item

Federation



Lot size/ area	1062m ²
Frontage width	13.3m
Lot depth	47.75m
Front set-back	4.7m
Rear setback	14m
Approx. FSR	0.27:1

Asymmetrical building form with projecting front gable
 Typical of federation properties



Northern Conservation Area
Area N1
Character Assessment Proforma

333 Auburn Street
Contributory Item

Mono-pitched window awning with side timber brackets

Vertically emphasised timber 3 case-ment windows with transom lights and coloured glass detailing

Original plain corrugated galvanised steel sheet roof.



Deep stone, painted sill

Cream timber picket fence with tulip tips

Timber front door with panelling and side lights

Enclosed veranda



Northern Conservation Area
Area N1
Character Assessment Proforma

331 Auburn Street
Contributory Item

Federation



Lot size/ area	859m2
Frontage width	24.1m
Lot depth	48.7m
Front set-back	6m
Rear setback	14.9m
Approx. FSR	0.24:1





Northern Conservation Area
Area N1
Character Assessment Proforma

331 Auburn Street
Contributory Item

Red corrugated short sheet iron roofing

Bullnose awning in different colour to dwelling roof

Window hood with timber fan detailing on side brackets

Timber gable vent

Decorative timber bargeboards



Common red facing brick dressed with red face brick quoins

Wrap-around verandah

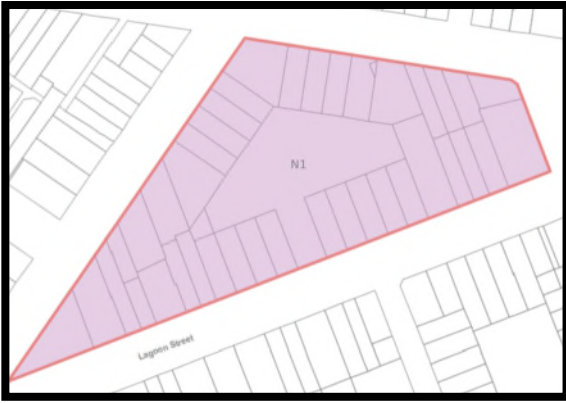
Timber frieze

Low rise wall with brick pillars and bullnose coping stones

Ceramic pavers

Painted brick & render sill with corbels

Vertically emphasised timber 3 casement windows with transom lights and coloured glass



**Northern Conservation Area
Area N1
Character Assessment Proforma**

**329 Auburn Street
Contributory Item**

Federation



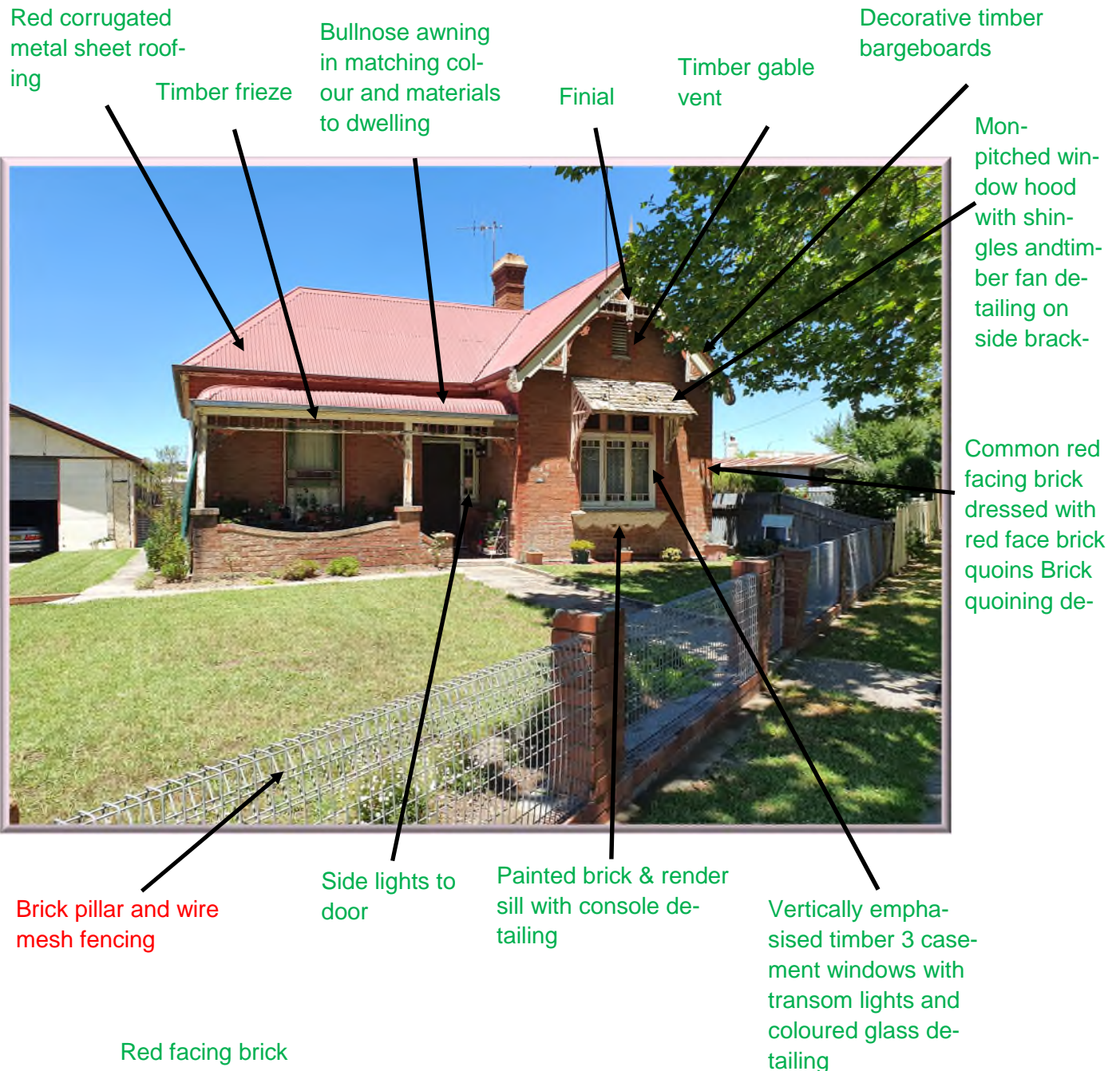
Lot size/ area	799.9m2
Frontage width	24.5m
Lot depth	46m
Front set-back	5.8m
Rear setback	13m
Approx. FSR	0.34:1

Federation style
 Asymmetrical building form with projecting front gable
 Brick piers and low brick wall support two simple timber posts supporting the awning at the corner and framing the front door. Long garage stands behind the dwelling with a simple side



Northern Conservation Area
Area N1
Character Assessment Proforma

329 Auburn Street
Contributory Item



Red corrugated metal sheet roofing

Timber frieze

Bullnose awning in matching colour and materials to dwelling

Finial

Timber gable vent

Decorative timber bargeboards

Mon-pitched window hood with shingles and timber fan detailing on side brack-

Common red facing brick dressed with red face brick quoins Brick quoining de-

Brick pillar and wire mesh fencing

Side lights to door

Painted brick & render sill with console detailing

Vertically emphasised timber 3 case-ment windows with transom lights and coloured glass de-tailing

Red facing brick



Northern Conservation Area
Area N1
Character Assessment Proforma

327 Auburn Street

**Post
War**



Lot size/ area	341.4m ²
Frontage width	12.2m
Lot depth	37m
Front set-back	11.5m
Rear setback	13m
Approx. FSR	

Post War– utilitarian with simple design and use of inexpensive materials. Property has been modified over time.

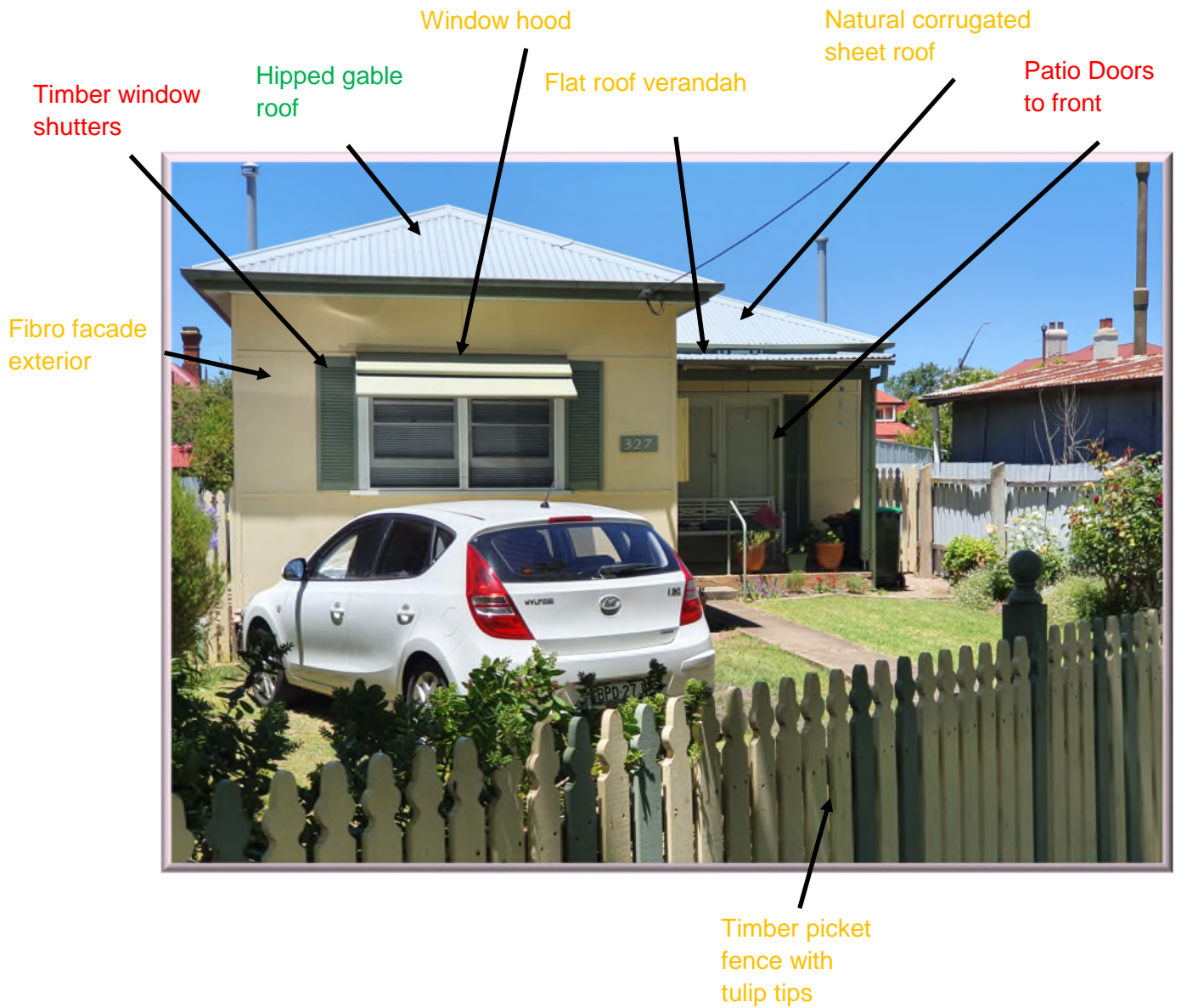
Stands relatively isolated between a grouping of Federation dwellings.

Asymmetrical building form with projecting hipped front gable



Northern Conservation Area
Area N1
Character Assessment Proforma

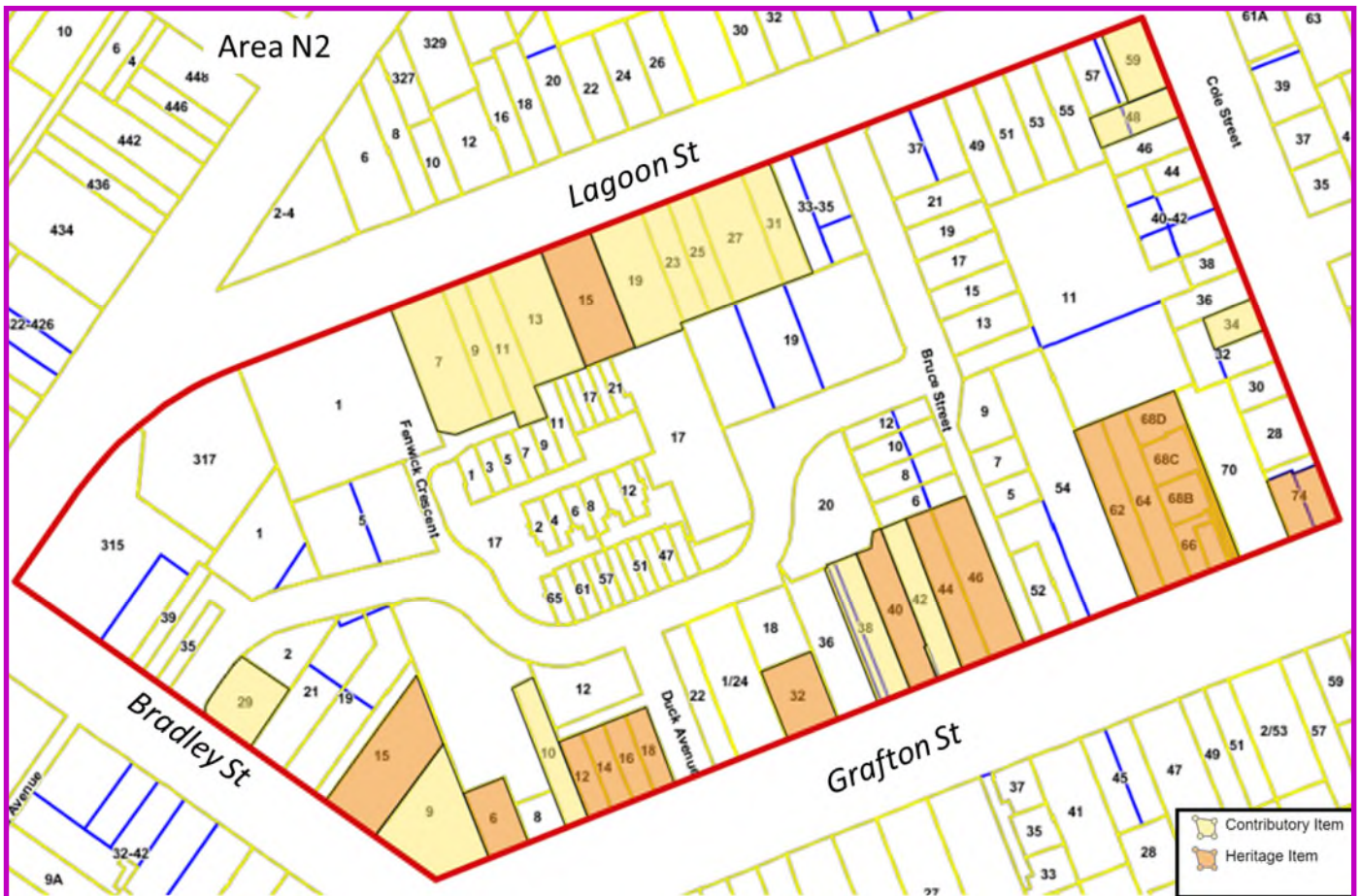
327 Auburn Street



Assessment Area N2: Northern Gateway Precinct

Included Streets

- Bradley Street
- Lagoon Street
- Grafton Street
- Cole Street
- Fenwick Crescent
- Bruce Street
- Duck Avenue





**Northern Conservation Area
Area N2
Character Assessment Proforma**

1 Fenwick Crescent



Lot size/ area	1119 m2
Frontage width	27m
Lot depth	
Front set-back	11m
Rear setback	
Approx. FSR	0.59:1

Used furniture store `Trish`s Trash`. Two access points– now closed



Northern Conservation Area
Area N2
Character Assessment Proforma

1 Fenwick Crescent





Northern Conservation Area
Area N2
Character Assessment Proforma

5 Fenwick Crescent

1960's to
 1990's



Medical Centre

Lot size/ area	1485
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	0.42:1



Northern Conservation Area
Area N2
Character Assessment Proforma

5 Fenwick Crescent





**Northern Conservation Area
Area N2
Character Assessment Proforma**

12 Fenwick Crescent

Vacant



Disused car park

Lot size/ area	739 m2
Frontage width	35m/19m
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	0:1



Northern Conservation Area
Area N2
Character Assessment Proforma

12 Fenwick Crescent





Northern Conservation Area Area N2 Character Assessment Proforma

17 Fenwick Crescent

Post
2000's



Lot size/ area	4092m2
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	

Are currently under development for a multi-dwelling development

McKenzie Crescent

Half the site is nearing completion the other half is currently undergoing infrastructure construction works– sewer



Northern Conservation Area
Area N2
Character Assessment Proforma

17 Fenwick Crescent





Northern Conservation Area
Area N2
Character Assessment Proforma

18 Fenwick Crescent

1960's to
 1990's



Lot size/ area	
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	

Manufactured home



Northern Conservation Area
Area N2
Character Assessment Proforma

18 Fenwick Crescent





**Northern Conservation Area
Area N2
Character Assessment Proforma**

19 Fenwick Crescent



Lot size/ area	3211m ²
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	

Private Tennis Court
Comprises three consecutive lots



Northern Conservation Area
Area N2
Character Assessment Proforma

19 Fenwick Crescent





**Northern Conservation Area
Area N2
Character Assessment Proforma**

20 Fenwick Crescent

**1960's to
1990's**



Lot size/ area	1293m ²
Frontage width	
Lot depth	
Front set-back	15m
Rear setback	1m
Approx. FSR	0.29:1

Tamelin Independent Primary School on Corner lot.



Northern Conservation Area
Area N2
Character Assessment Proforma

20 Fenwick Crescent





**Northern Conservation Area
Area N2
Character Assessment Proforma**

315 Auburn Street

Vacant



Lot size/ area	3016
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	

Corner Vacant Lot. Old service station .
 Stands at the commercial entrance of Goulburn on the corner of Auburn Street and Bradley Street.
 Covers two lots.



Northern Conservation Area
Area N2
Character Assessment Proforma

315 Auburn Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

317 Auburn Street

Post
2000's



Lot size/ area	2300
Frontage width	44m
Lot depth	
Front setback	23m
Rear setback	0m
Approx. FSR	0.42:1

Bottleshop– First Choice Liquor



Northern Conservation Area
Area N2
Character Assessment Proforma

317 Auburn Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

1 Lagoon Street

**1960's to
1990's**



Lot size/ area	3408m2
Frontage width	61m
Lot depth	
Front set-back	20m
Rear setback	18m
Approx. FSR	0.30:1

Large continuous span of frontage detracts from the character of the conservation area.



Northern Conservation Area
Area N2
Character Assessment Proforma

1 Lagoon Street





Northern Conservation Area
Area N2
Character Assessment Proforma

7 Lagoon Street
Contributory Item

Federation



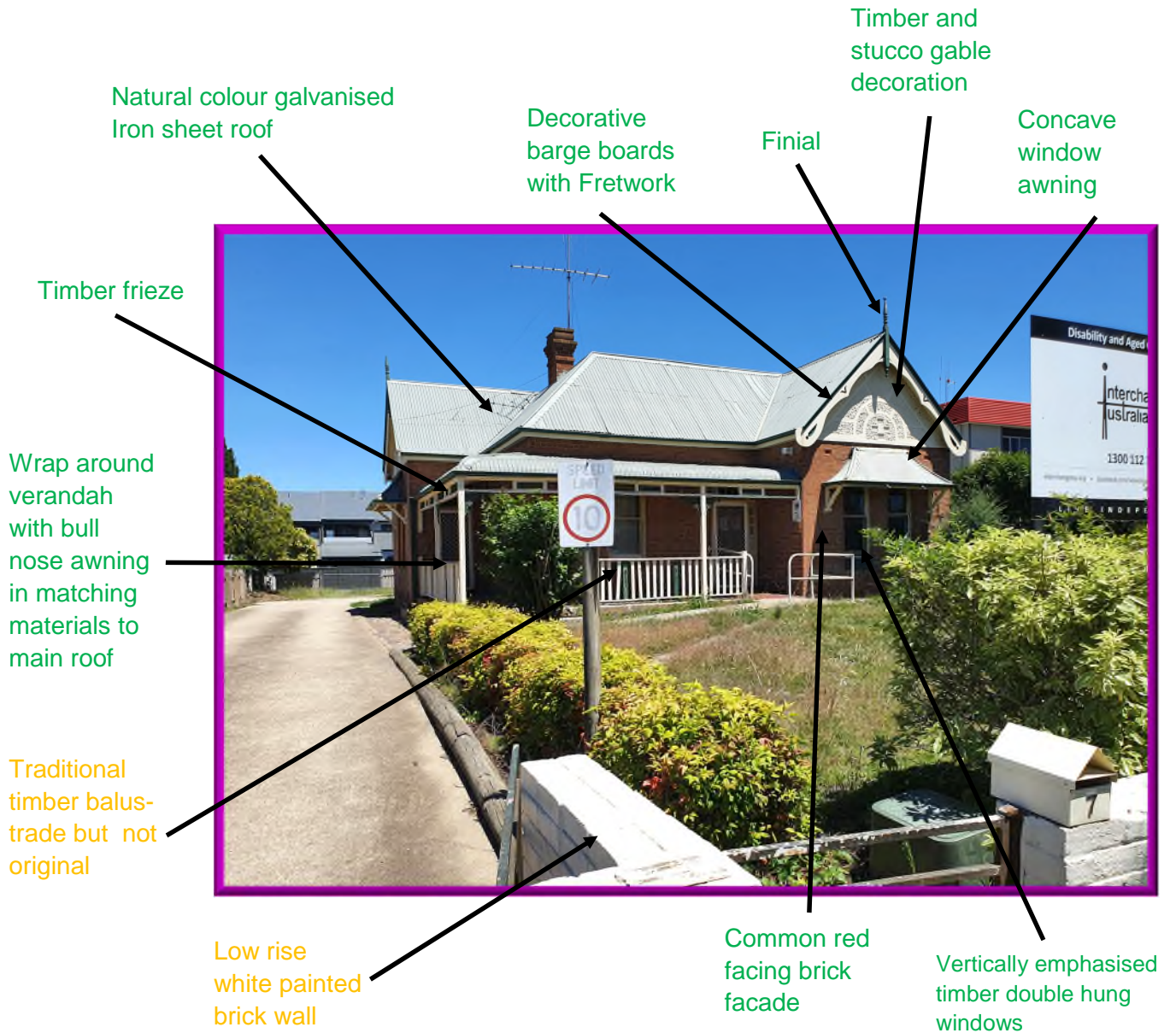
Lot size/ area	1075m ²
Frontage width	20m
Lot depth	53.5m
Front set-back	12m
Rear setback	25.5m
Approx. FSR	0.22:1

Late Federation Style– Circa.1912
 Constructed by George Fuller
 Cavity red brick building
 Substantial contribution to the streetscape and enhances the character and heritage ambience of Lagoon St



Northern Conservation Area Area N2 Character Assessment Proforma

7 Lagoon Street
Contributory Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

**9 Lagoon Street
Contributory Item**

Federation



Lot size/ area	486
Frontage width	9m
Lot depth	53.5m
Front set-back	7.5m
Rear setback	25m
Approx. FSR	0.46:1

Late Federation Style
 Much of significance is gained from the collection of adjoining buildings and their association with one another.
 Proportion & Spacing of verandah posts



Northern Conservation Area
Area N2
Character Assessment Proforma

9 Lagoon Street
Contributory Item





Northern Conservation Area
Area N2
Character Assessment Proforma

11 Lagoon Street
Contributory Item

Inter war



Lot size/ area	613
Frontage width	10m
Lot depth	59.5m
Front set-back	7.5
Rear setback	31.5m
Approx. FSR	0.33:1

Inter-war housing . Typical inter-war architecture for Country NSW
 Representative of the work of Goulburn builder W.Larcomb. Building contributes substantially to the overall streetscape heritage value. Name plaque `St Lorance` maybe associated with the swiss-german habitational name `Gersbach`



Northern Conservation Area
Area N2
Character Assessment Proforma

11 Lagoon Street
Contributory Item

Flat roof verandah awning

Gable lattice detailing on apex

Timber batten detailing to front facing gables



Flat roof window awning

Original leadlight windows

Decorative window sill embellishments

Deep shaded porch

Common red facing brick façade dressed with polychrome brick quoins

Wrought iron fencing between brick piers



Northern Conservation Area
Area N2
Character Assessment Proforma

13 Lagoon Street
Contributory Item

Federation



Lot size/ area	980m2
Frontage width	21m
Lot depth	47.5m
Front set-back	8m
Rear setback	18.5
Approx. FSR	0.27:1

Federation Cottage. Representative work of a prominent Goulburn builder, Perry Graham.
 Has many late Victorian features.
 Name plate `Mummel` indicative of early Goulburn district landholding of the same name.
 Brick wall and garden reflect the fine quality of this residence
 Much of original woodwork remains



Northern Conservation Area
Area N2
Character Assessment Proforma

13 Lagoon Street
Contributory Item

Natural colour gal-
vanised iron sheet
roof

Coloured
glass detail-

Original lead
light door
and fanlight
windows

Finial

Decorate tim-
ber barge
boards with
fine fretwork



Mono-pitched
window awning
with timber side
brackets

Vertically em-
phasised timber
sash windows

Circular pathway to front en-
trance which is a late Victorian
feature and encapsulates the
neat cottage garden

Common red facing
brick façade dressed
with white painted brick
quoins

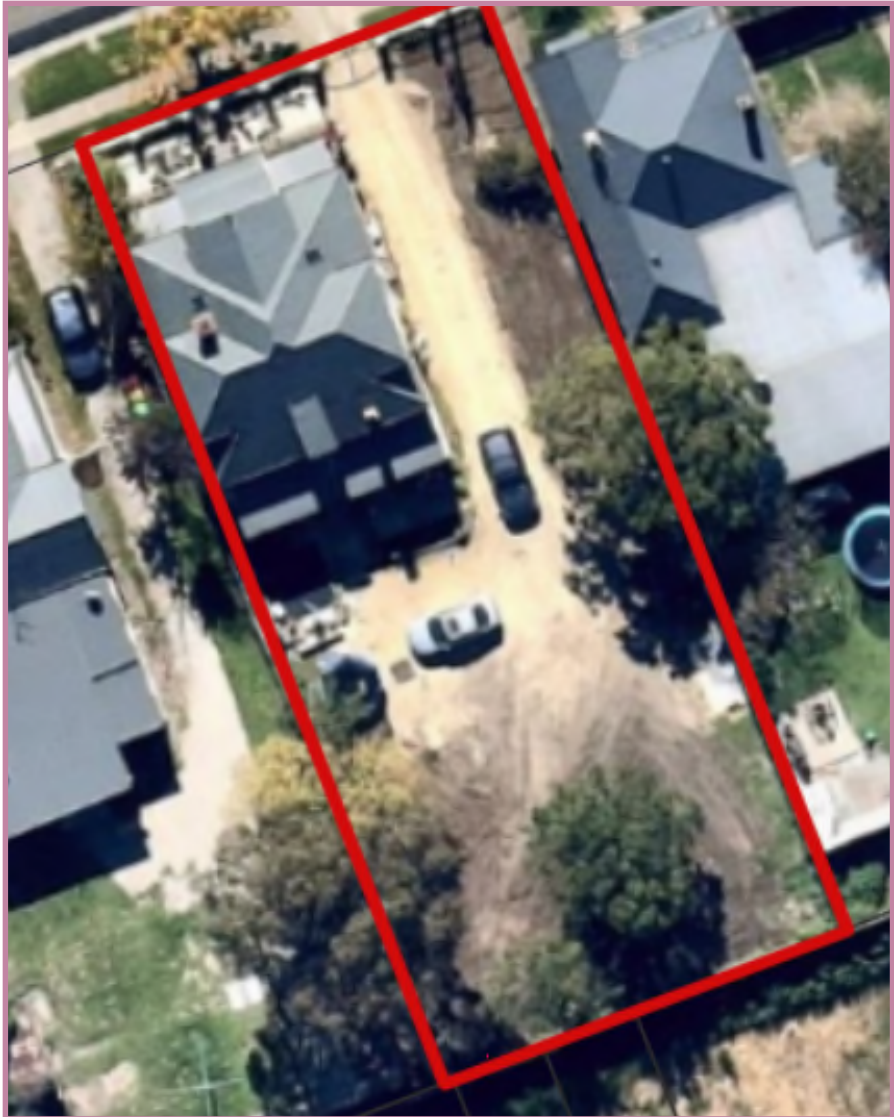
Low rise dark red brick wall
with bullnose coping stones



Northern Conservation Area
Area N2
Character Assessment Proforma

15 Lagoon Street
Heritage Item

Federation



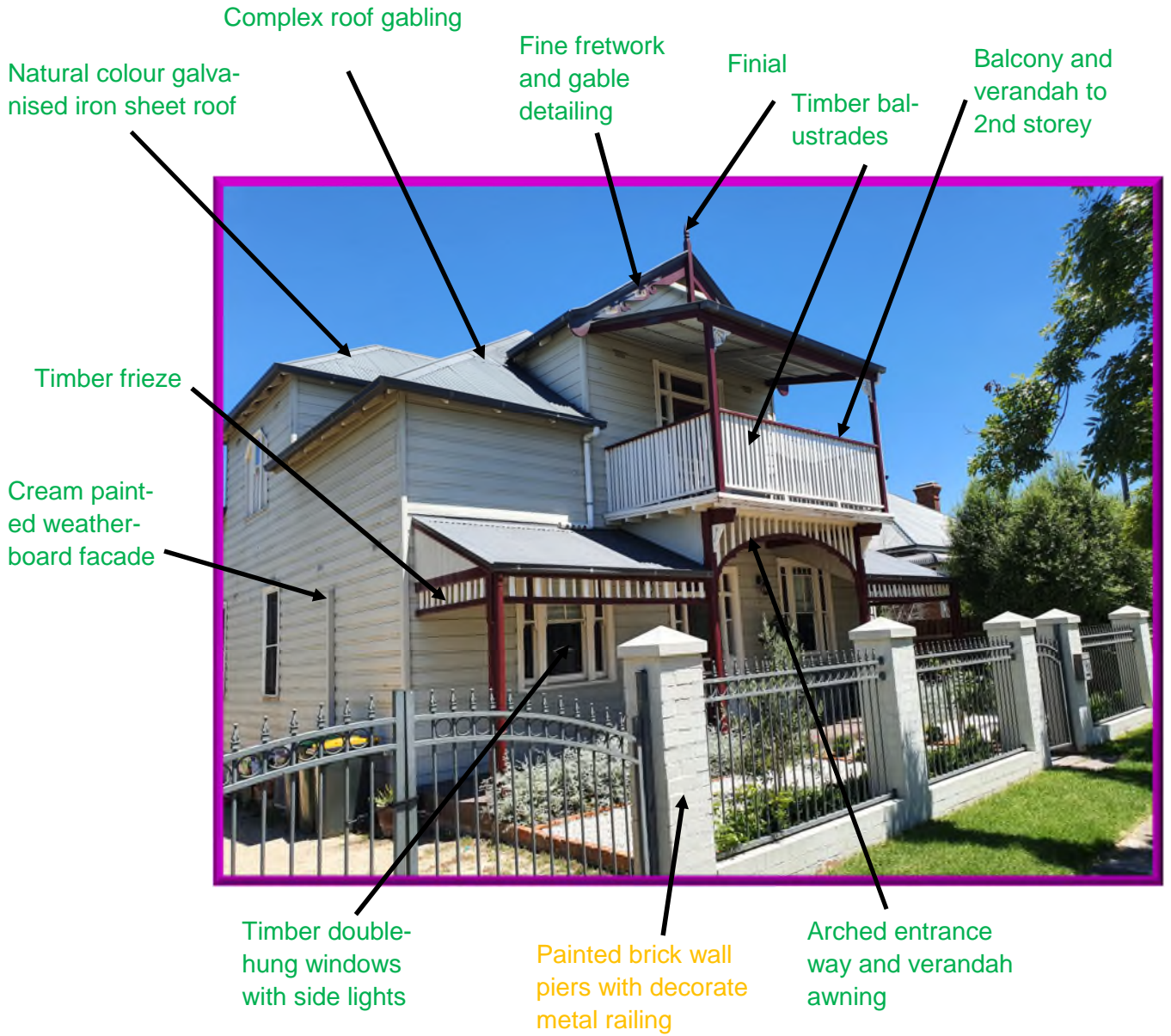
Lot size/ area	954
Frontage width	47.5m
Lot depth	20m
Front set-back	5.5m
Rear setback	27.5m
Approx. FSR	0.36:1

1914– federation & `American Saloon` Style architecture
 Many original features restored.
 It is the only two storey weatherboarded residence in Goulburn.
 Has a dominating presentation in the streetscape



Northern Conservation Area
Area N2
Character Assessment Proforma

15 Lagoon Street
Heritage Item





Northern Conservation Area
Area N2
Character Assessment Proforma

19 Lagoon Street
Contributory Item

Federation



Lot size/ area	954m ²
Frontage width	20m
Lot depth	47.5m
Front set-back	4.5m
Rear setback	29m
Approx. FSR	0.32:1

Late Federation– Same style and design as adjacent property 23 Lagoon Street and these should be considered in association with one another.

Red brick and weatherboard residence. Constructed for Benjamin Mathews and wife Emily [Ayliffe] Mathews which further entrenches Lagoon Streets association with the Ayliffe family.

Building has retained much of its original character. Designed by Henry H. Mordaunt. This is one of several properties designed by Mordaunt for the Ayliffe family.

Local heritage significance for its contribution to both social history and streetscape.



Northern Conservation Area
Area N2
Character Assessment Proforma

19 Lagoon Street
Contributory Item

Natural colour gal-
vanised iron sheet
roof

Louvered vent to gable
apex with decorative fret-
work above

Bullnose
awning with
matching
materials to
main roof

3 casement, verti-
cally emphasised
windows with trans-
om lights above

Cream
weather-
boarded fa-
çade



Metal front
fence with
spear tips

Timber window sill
with console detailing

Mono-pitched window
awning with detailed
timber side brackets



Northern Conservation Area
Area N2
Character Assessment Proforma

23 Lagoon Street
Contributory Item

Federation



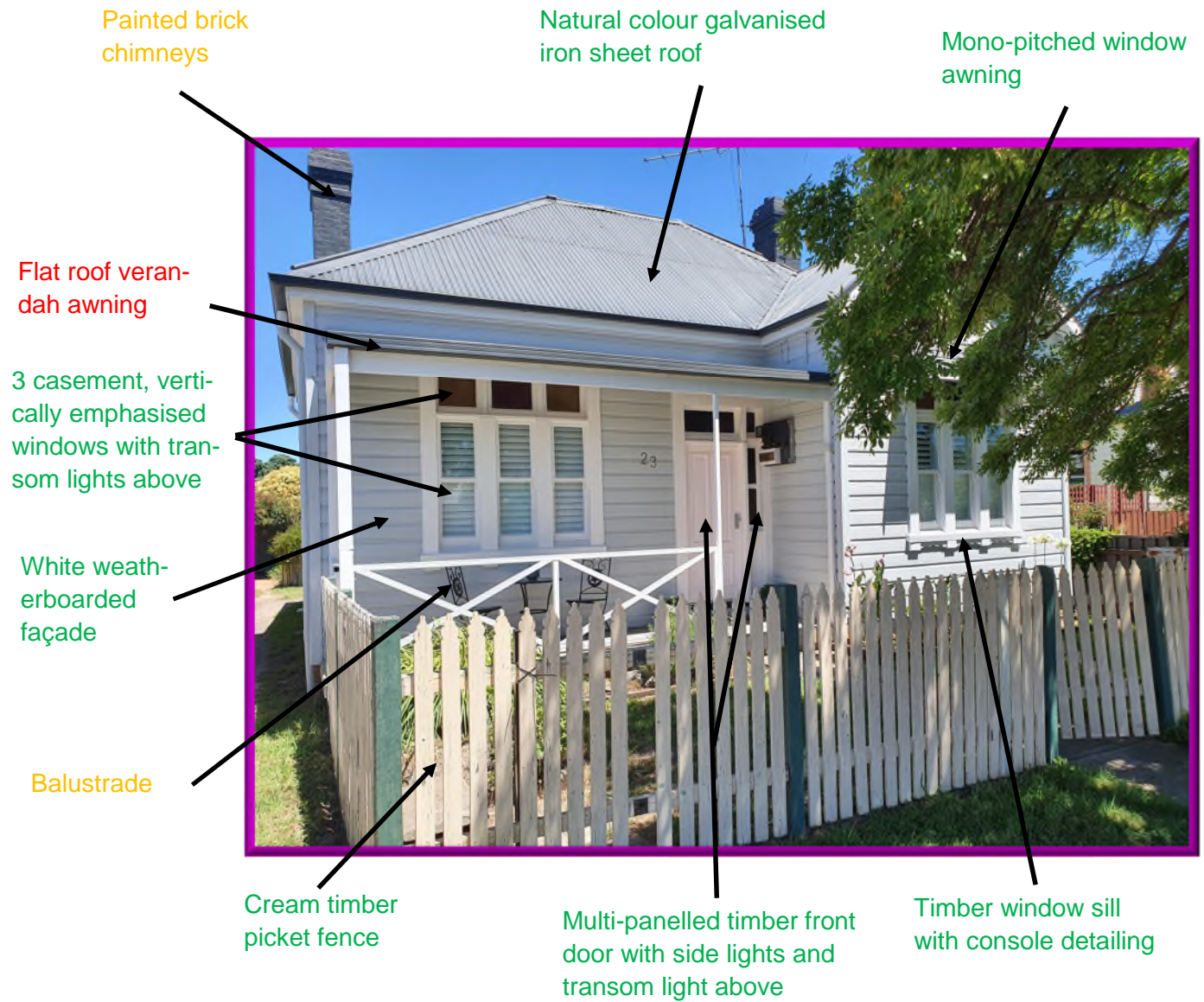
Lot size/ area	467m2
Frontage width	10.5m
Lot depth	45m
Front set-back	4m
Rear setback	26m
Approx. FSR	0.46:1

Late Federation– Same style and design as adjacent property 19 Lagoon Street and these should be considered in association with one another. Property has been recently restored. Builder Henry H. Mordaunt for Edith May [Ayliffe] Roots. Weather board cottage on brick foundations– colonial bond. Many late Federation features have been retained



Northern Conservation Area
Area N2
Character Assessment Proforma

23 Lagoon Street
Contributory Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

**25 Lagoon Street
Contributory Item**

Inter
war



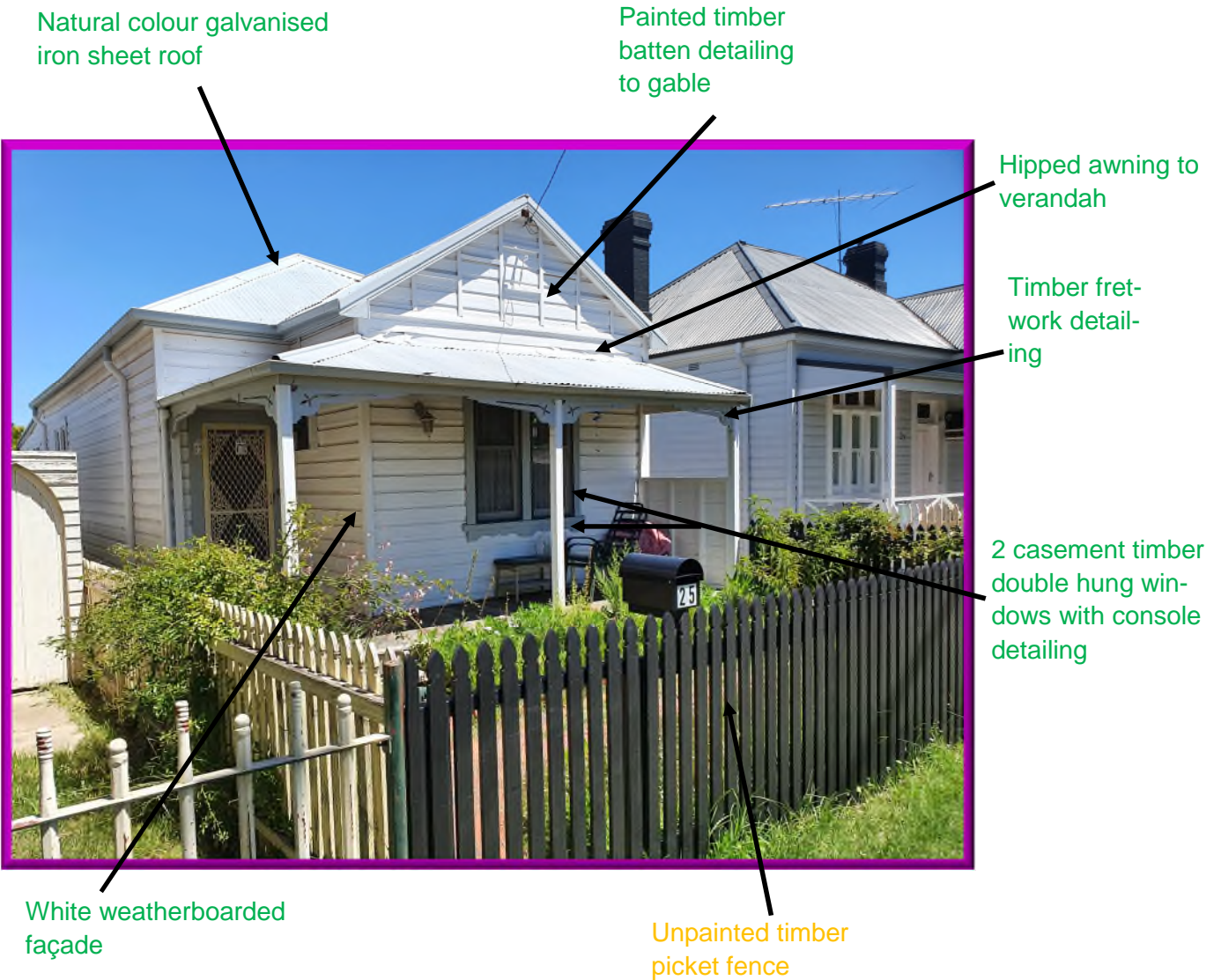
Lot size/ area	442m2
Frontage width	10m
Lot depth	45m
Front set-back	5.5m
Rear setback	18.5
Approx. FSR	0.42:1

1919
 Designed by Henry Mordaunt for Edith May [Ayliffe] Roots. Weatherboarded cottage on concrete foundation.
 Property has a narrow frontage (33 feet). Property is representative of Morduant and contributes significantly to the working class group of buildings on Lagoon Street. The property is socially significant due to the association with the Ayliffe Family on Lagoon Street.



Northern Conservation Area
Area N2
Character Assessment Proforma

25 Lagoon Street
Contributory Item





Northern Conservation Area
Area N2
Character Assessment Proforma

27 Lagoon Street
Contributory Item

Inter
war



Lot size/ area	904m ²
Frontage width	20m
Lot depth	45m
Front setback	4.5m
Rear setback	28m
Approx. FSR	0.31:1

1914. Designed by Henry H. Morduant for Arthur Charles Ayliffe.
 Weatherboarded cottage on a brick and concrete foundation.
 Socially significant– association with Ayliffe family. Substantial alterations and additions but does still contribute to the heritage significance of the locality.
 Arthurs sister, Emily Mathews later noted as the occupant of 27 Lagoon Street.



Northern Conservation Area
Area N2
Character Assessment Proforma

27 Lagoon Street
Contributory Item

Corrugated metal sheet roof

Cream weather-board facade

Enclosed verandah with large horizontally emphasised windows

Painted concrete foundation plinth

Metal pole fencing in poor condition





Northern Conservation Area
Area N2
Character Assessment Proforma

31 Lagoon Street
Contributory Item

Inter
war



Lot size/ area	505m ²
Frontage width	11.3m
Lot depth	45m
Front set-back	3m
Rear setback	28m
Approx. FSR	0.34:1

Highly representative of late WWI architecture in Country NSW. Presents a valuable contribution to the streetscape and is socially important from its association with the Ayliffe family in Lagoon Street.

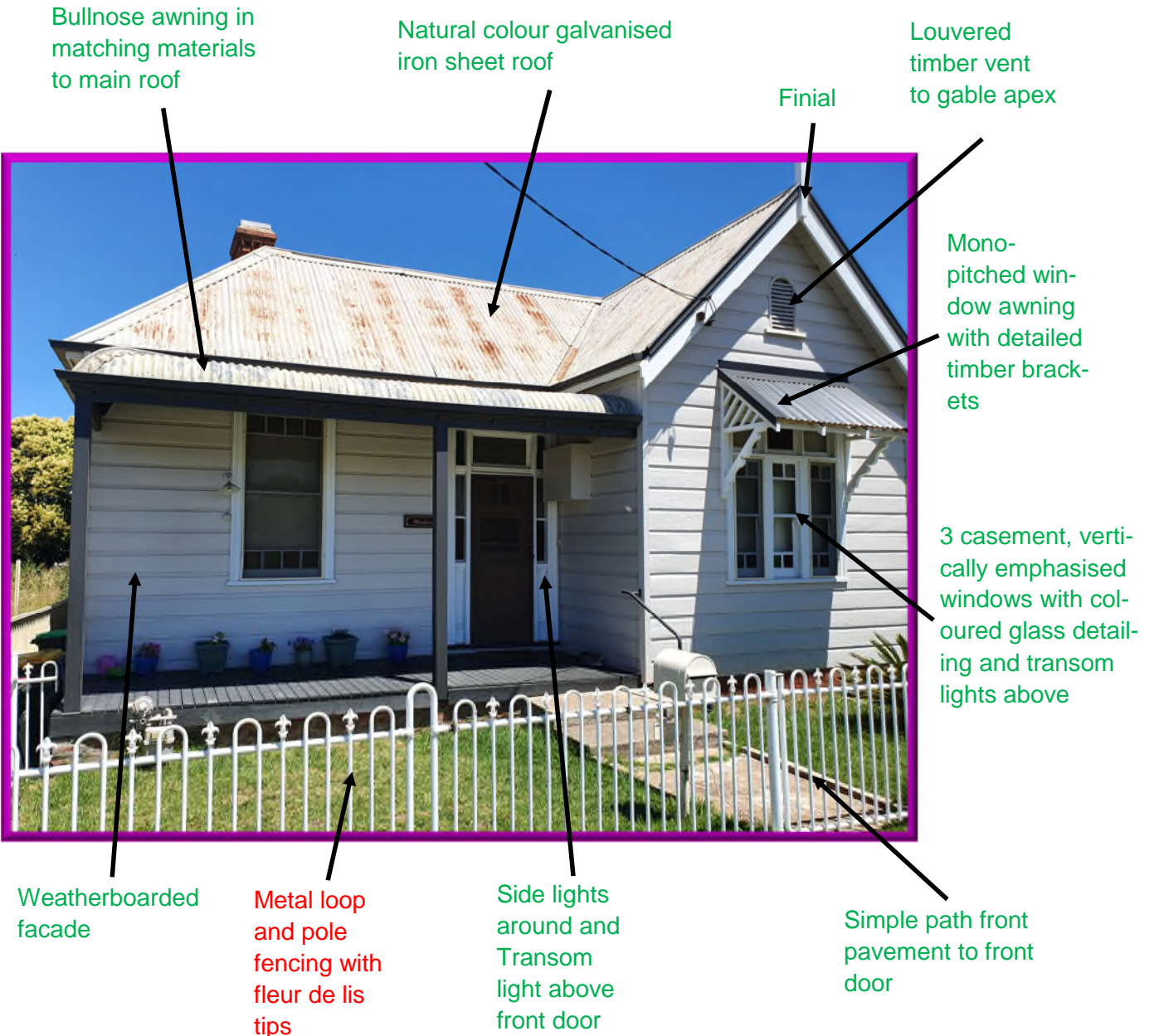
Also known as `Windarra` - Mrs Ayliffe. In 1930 Joseph William Ayliffe was resident here along with Ethel Harriet Ayliffe and Charlotte Ayliffe.

Weatherboard cottage on concrete and brick foundations. Prior to 2011 the building had some additions and enclosures which have since been removed



Northern Conservation Area
Area N2
Character Assessment Proforma

31 Lagoon Street
Contributory Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

33 to 35 Lagoon Street

Vacant



Lot size/ area	995m2
Frontage width	22m
Lot depth	45m
Front setback	n/a
Rear setback	n/a
Approx. FSR	0:1

Former Flacky's Service Centre. Historical use of site would reflect the development of Goulburn as a motor town.

In 1912 there is a record of a building application for a motor garage and in 1975 an application was submitted for the operation of motor garage service station. This was also approved for the buying and selling of motor vehicles.

Site has been dedicated to the transport industry for over a decade but little record remains after the site has been cleared.

The owner of 33 Lagoon St was Selby Mars Ayliffe where a small 2 bed cottage once stood.



Northern Conservation Area
Area N2
Character Assessment Proforma

33 to 35 Lagoon Street





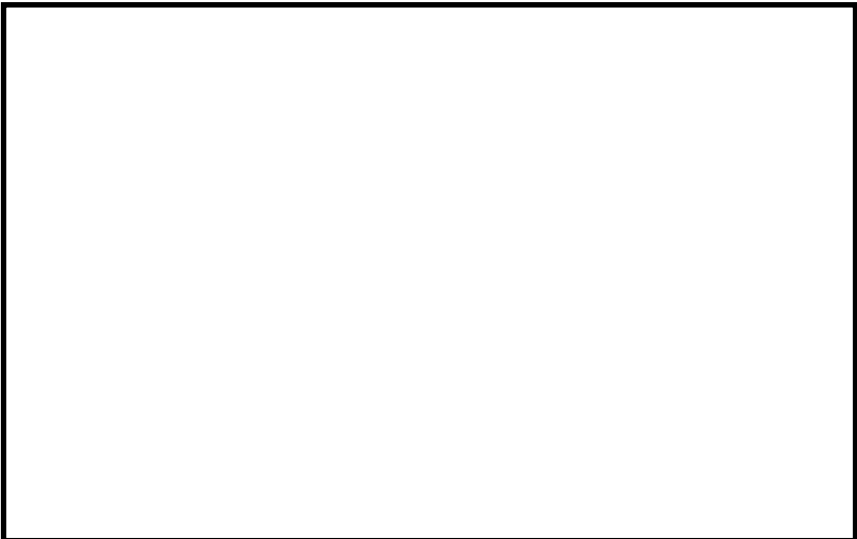
**Northern Conservation Area
Area N2
Character Assessment Proforma**

37 Lagoon Street

Vacant



Lot size/ area	976m ²
Frontage width	29m/27.5 m
Lot depth	30.5m
Front set-back	n/a
Rear setback	n/a
Approx. FSR	0:1





Northern Conservation Area
Area N2
Character Assessment Proforma

37 Lagoon Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

49 Lagoon Street

**Post
War**



Lot size/ area	557m ²
Frontage width	12m
Lot depth	45.8m
Front set-back	7m
Rear setback	26m
Approx. FSR	0.38:1

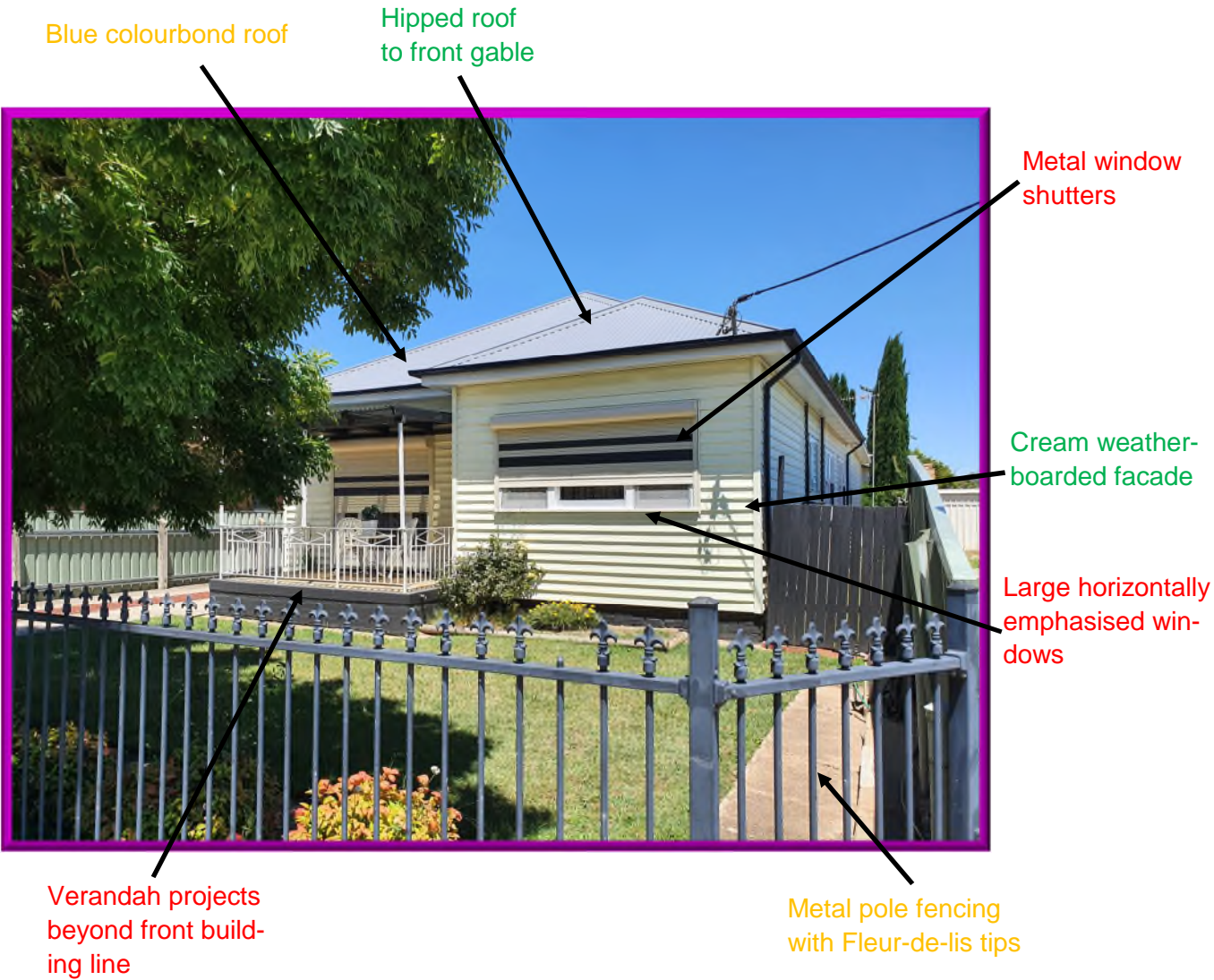
Garage sited adjacent the rear lot boundary access via a simple twin-track paver driveway along the side of the property.

Postwar property c. 1930's/1940's



Northern Conservation Area
Area N2
Character Assessment Proforma

49 Lagoon Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

51 Lagoon Street

**Post
War**



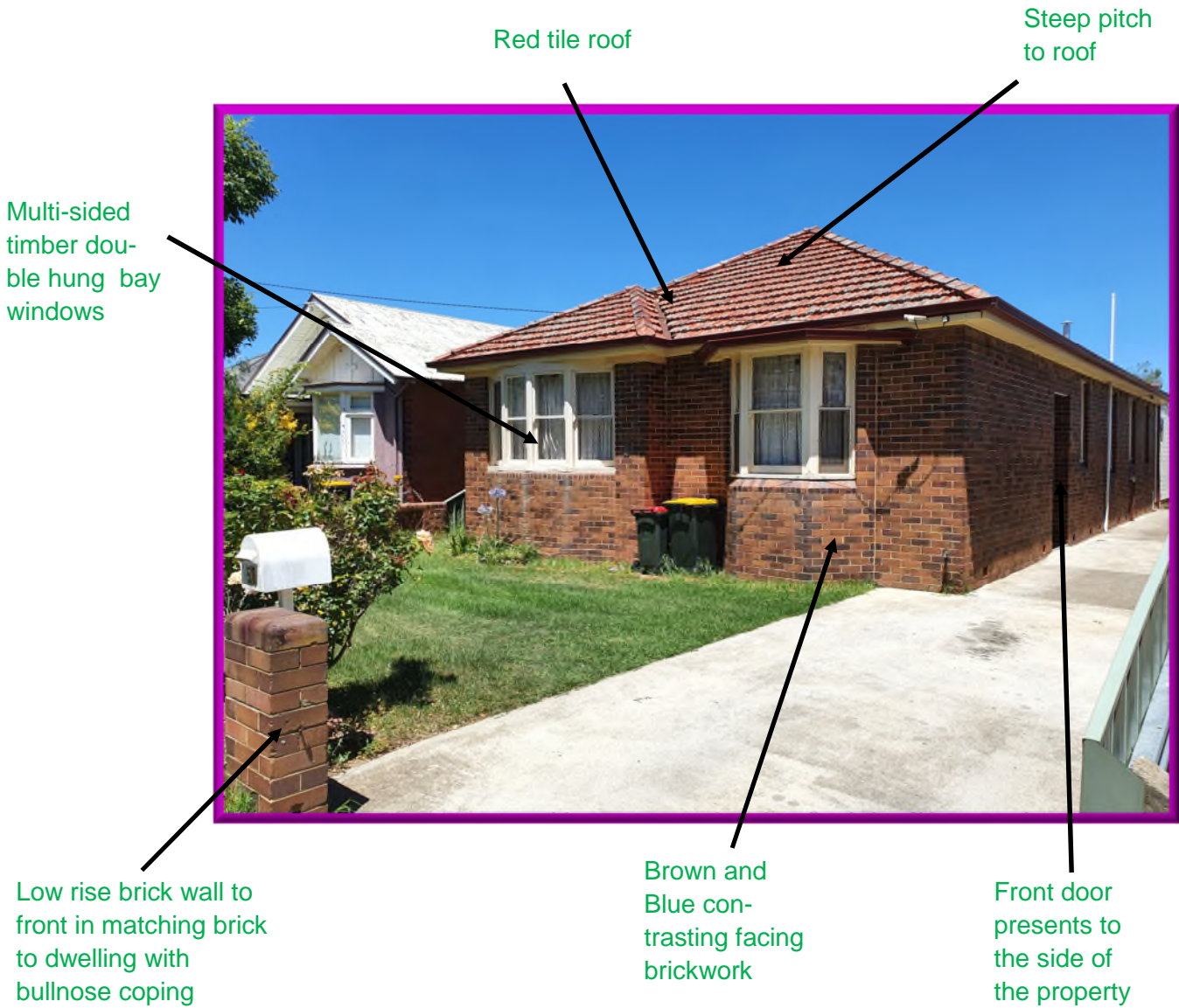
Lot size/ area	557m ²
Frontage width	12m
Lot depth	45.8m
Front set-back	6.5m
Rear setback	23m
Approx. FSR	0.37:1

Building from the 40`s/50`s
Modest garage stands behind the dwellings rear building line and is accessed by a concrete driveway running along the side of the property.



Northern Conservation Area
Area N2
Character Assessment Proforma

51 Lagoon Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

53 Lagoon Street

Inter
war



Lot size/ area	556m2
Frontage width	12m
Lot depth	45.8m
Front set-back	7m
Rear setback	21m
Approx. FSR	0.35:1

Double gabled property. Inter war bungalow style



Northern Conservation Area
Area N2
Character Assessment Proforma

53 Lagoon Street

Flat roof verandah awning

Timber lattice vent on gable apex

Painted batten detailing on upper gables



Mauve painted external render facade

Bay window with brick sill

Mauve painted rendered low rise front wall



**Northern Conservation Area
Area N2
Character Assessment Proforma**

55 Lagoon Street

**Post
War**



Lot size/ area	557m ²
Frontage width	12m
Lot depth	45.8m
Front set-back	6.5m
Rear setback	24.5m
Approx. FSR	0.23:1

Post war 1930's/1940's bungalow



Northern Conservation Area
Area N2
Character Assessment Proforma

55 Lagoon Street

Natural colour galvanised iron sheet roof

Flat roof to verandah awning

Timber window shutters

Cream weather-boarded exterior walls



Painted concrete foundation plinth

Timber balustrade



**Northern Conservation Area
Area N2
Character Assessment Proforma**

57 Lagoon Street

**Post
War**



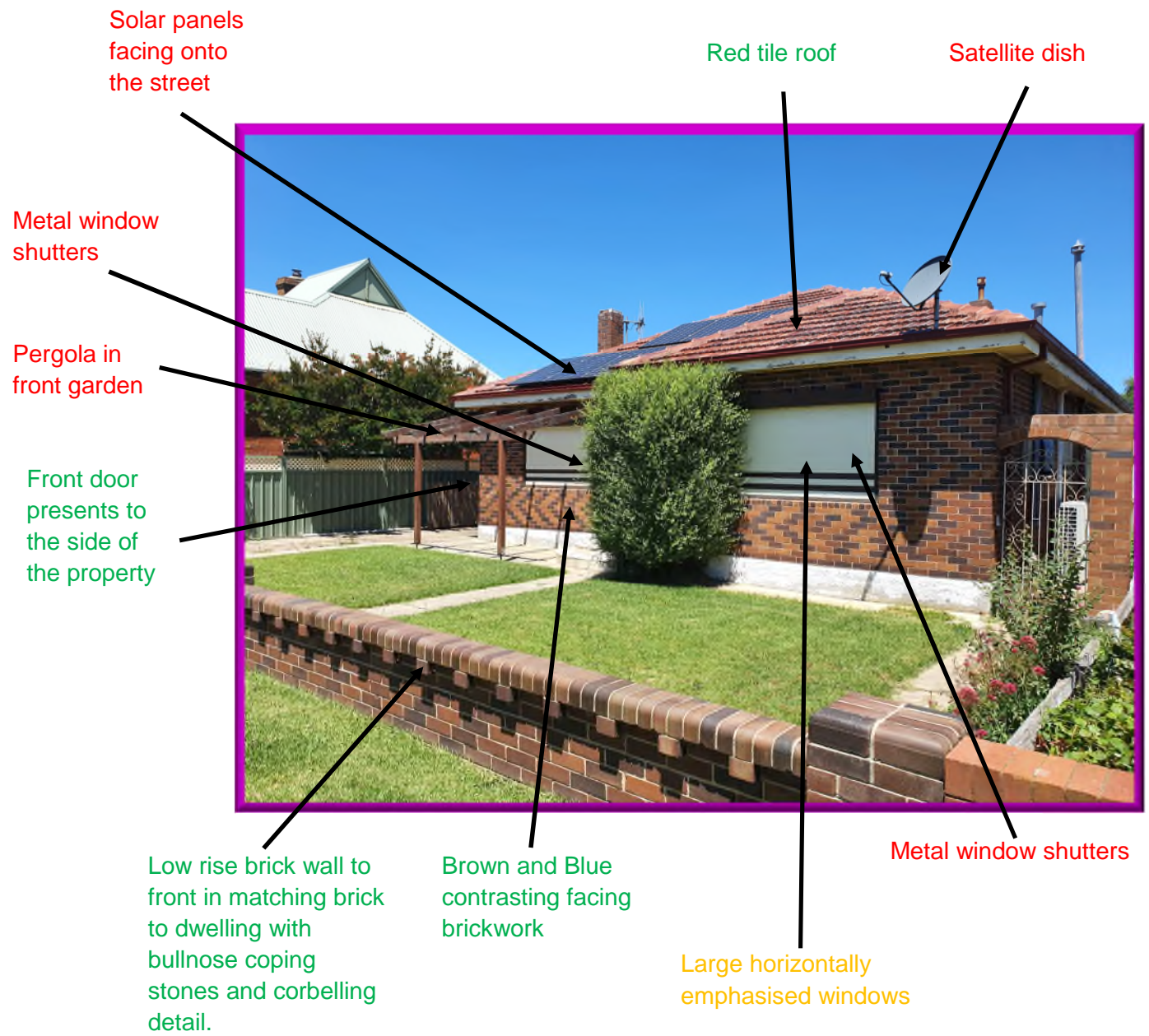
Lot size/ area	443m ²
Frontage width	15.5m
Lot depth	28.3m
Front set-back	5.75m
Rear setback	10.25m
Approx. FSR	0.43:1

1940's property



Northern Conservation Area
Area N2
Character Assessment Proforma

57 Lagoon Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

**59 Lagoon Street
Contributory Item**

Federation



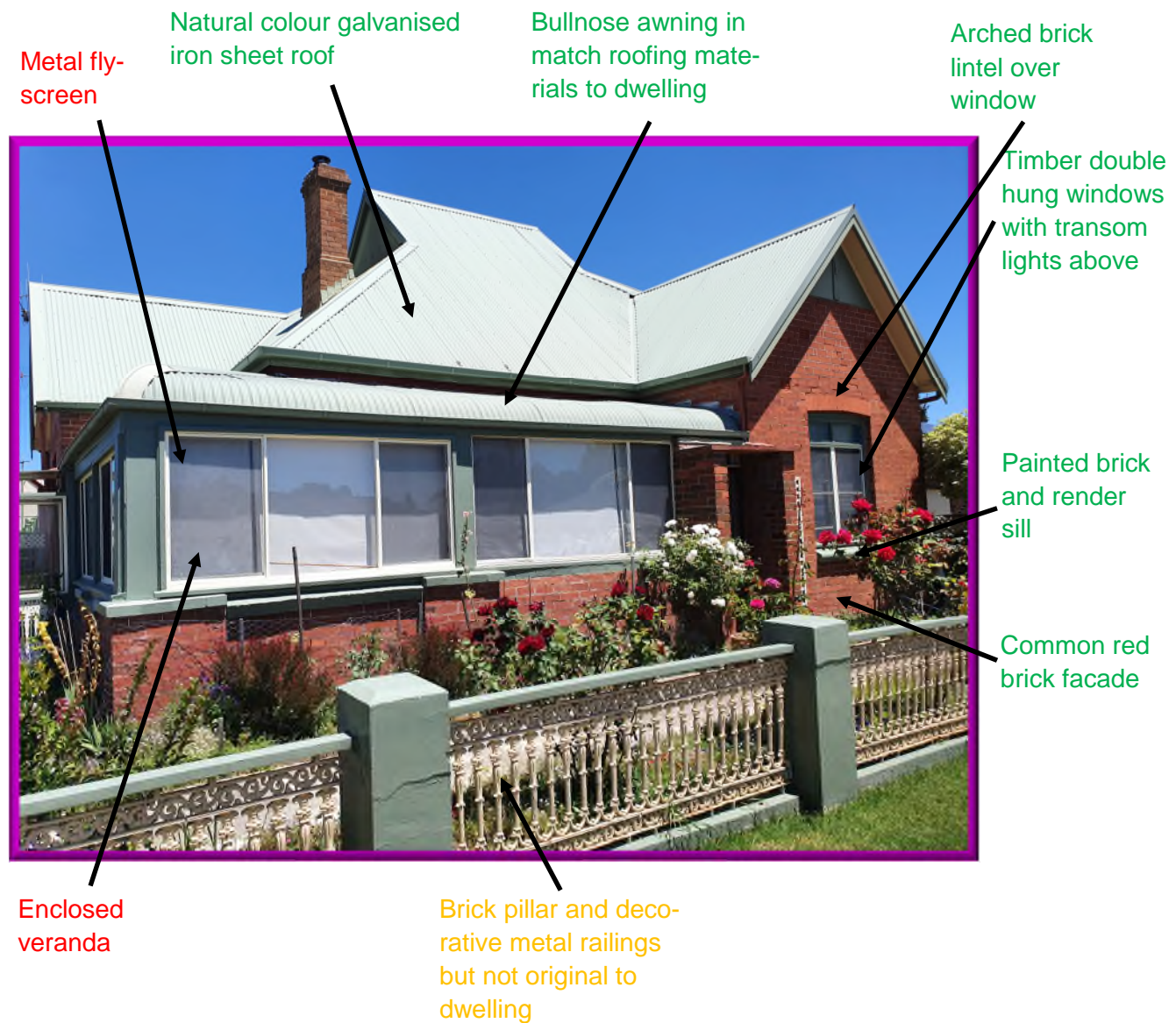
Lot size/ area	461m ²
Frontage width	16.5m/28 m
Lot depth	28.3m
Front set-back	3.5m
Rear setback	11m
Approx. FSR	0.41:1

Corner lot . Uncommon roof form and its corner position makes a prominent contribution to the streetscape.
Property circa.1900's



Northern Conservation Area
Area N2
Character Assessment Proforma

59 Lagoon Street
Contributory Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

**48 Cole Street
Contributory Item**

Georgian



Lot size/ area	393m ²
Frontage width	12m
Lot depth	32.35m
Front set-back	3m
Rear setback	16m
Approx. FSR	0.41:1

Classic double fronted Georgian Cottage with proportion and symmetry demonstrated by the central door and windows either side.

Modest detailing.

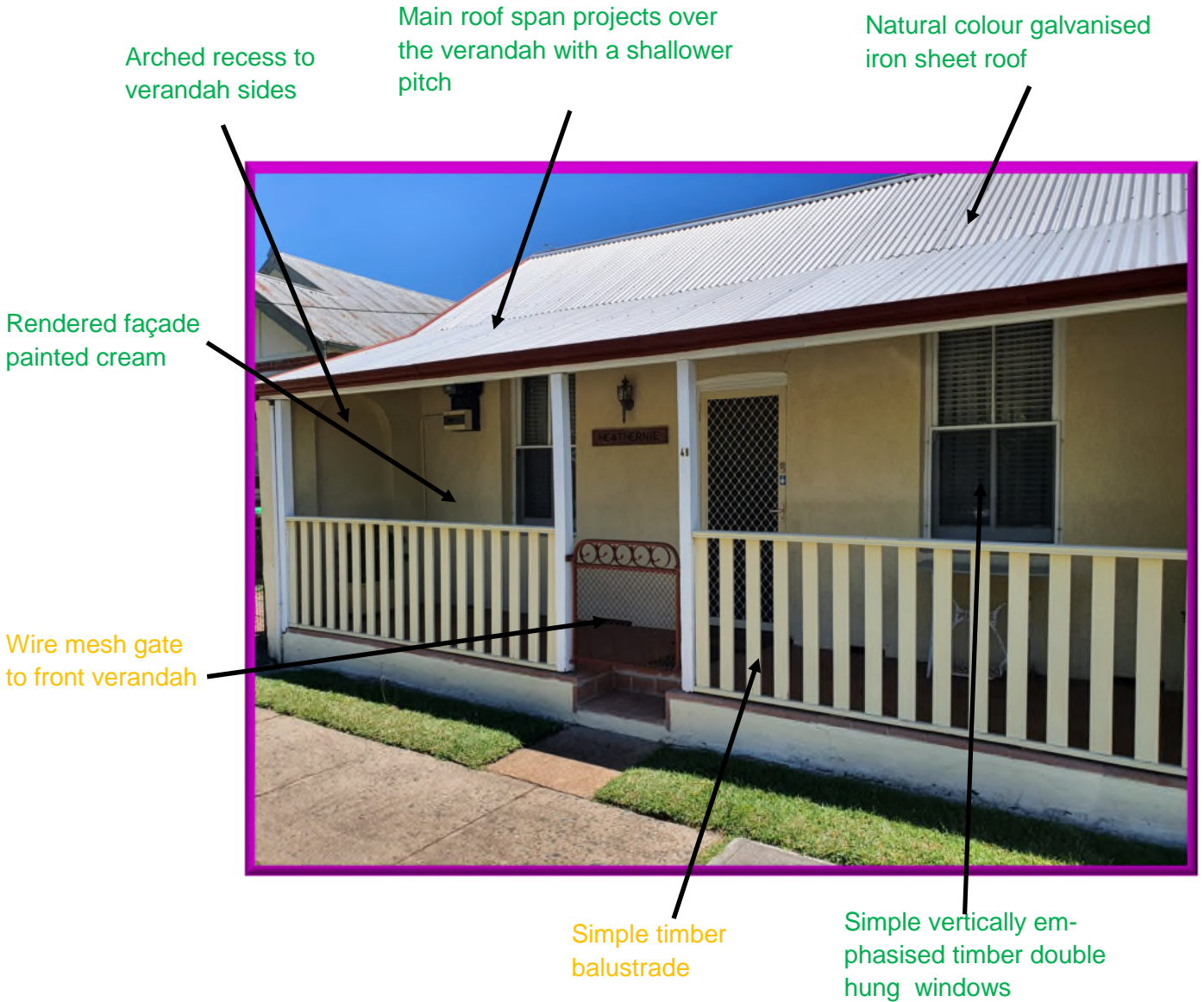
Comprises two lots presenting as a small site. The property is closely sited to the front boundary of the lot.

Has a close relationship with the street with a minimal front set-back.



Northern Conservation Area
Area N2
Character Assessment Proforma

48 Cole Street
Contributory Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

46 Cole Street

**Inter
war**



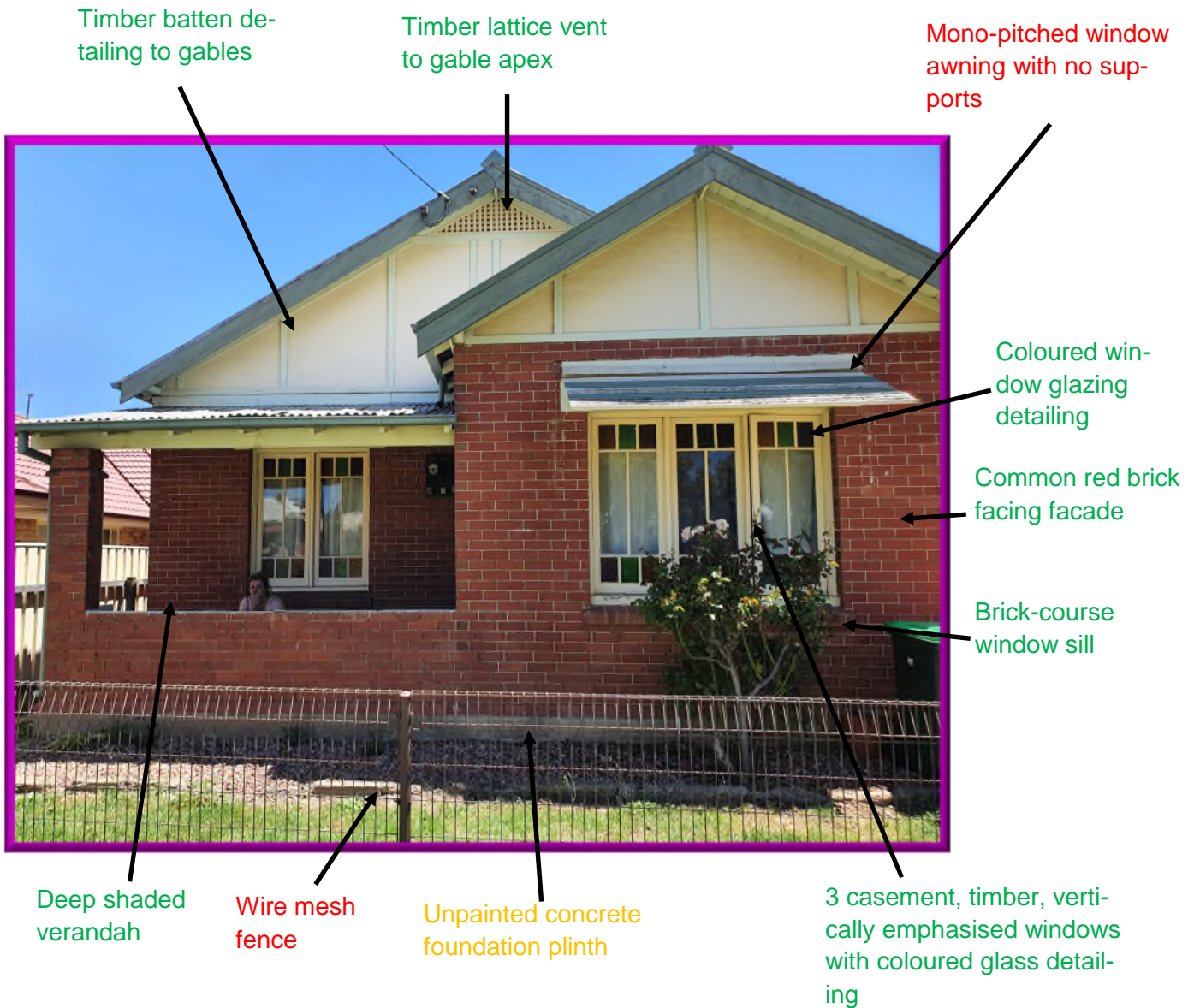
Californian bungalow style

Lot size/ area	393m ²
Frontage width	12m
Lot depth	32.35m
Front set-back	3m
Rear setback	16m
Approx. FSR	0.34:1



Northern Conservation Area
Area N2
Character Assessment Proforma

46 Cole Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

44 Cole Street

Post
2000's



Modern dwelling which occupies nearly the entirety of its lot.
The visual prominence of the garage detracts from the character of the streetscape.

Lot size/ area	368m ²
Frontage width	12m
Lot depth	20.15m
Front set-back	0.5m
Rear setback	0.5m
Approx. FSR	0.81:1



Northern Conservation Area
Area N2
Character Assessment Proforma

44 Cole Street

Ridgeline detailing

Gablet with batten detailing

Red tiled roof

Yellow brick facade

Garage prominent on the streetscape



Deep overhanging eaves



Northern Conservation Area
Area N2
Character Assessment Proforma

40 to 42 Cole Street

Post
2000's



A modern, infill, multi-dwelling development comprising 5 single storey dwellings

Lot size/ area	962 m2
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	0.62:1



Northern Conservation Area
Area N2
Character Assessment Proforma

40 to 42 Cole Street

Natural colour galvanised
iron sheet roof

Large expanse
of glass with
horizontal em-
phasis



Deep over-
hanging
eaves

Garage
prominent on
the
streetscape





**Northern Conservation Area
Area N2
Character Assessment Proforma**

38 Cole Street

Victorian



Simple workers cottage which has been significantly modified.
Brick and weatherboard

Lot size/ area	247m ²
Frontage width	12m
Lot depth	20.15m
Front set-back	6.5m
Rear setback	5m
Approx. FSR	0.40:1



Northern Conservation Area
Area N2
Character Assessment Proforma

38 Cole Street

Natural colour galvanised iron sheet roof

Simple red brick chimney

Timber weather-boarded façade



Large expansive windows

Simple direct path to front door

White timber picket fence



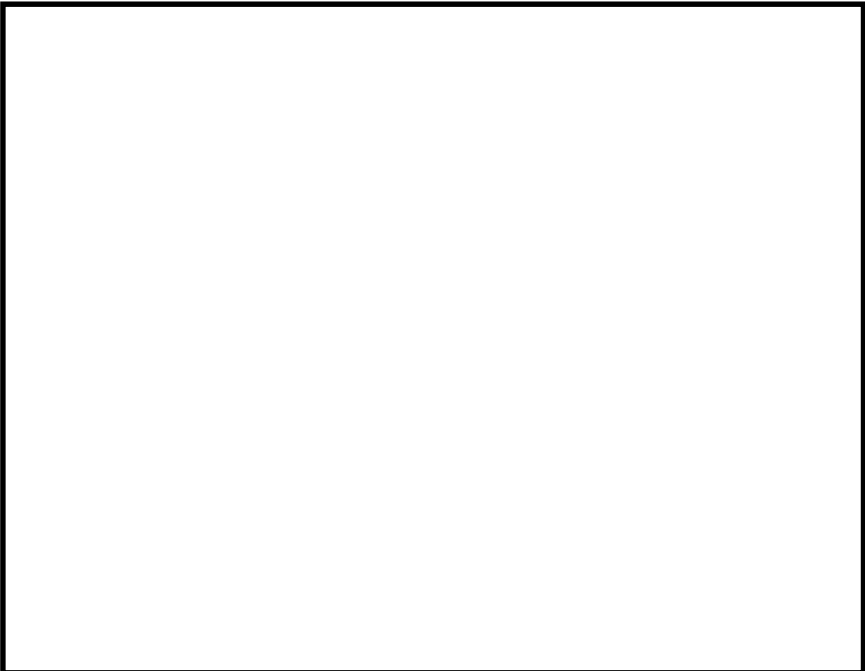
Northern Conservation Area
Area N2
Character Assessment Proforma

36 Cole Street

Inter
war



Lot size/ area	398m ²
Frontage width	12m
Lot depth	32.4m
Front set-back	2.25m
Rear setback	14m
Approx. FSR	0.54:1





Northern Conservation Area
Area N2
Character Assessment Proforma

36 Cole Street

Detailed verandah posts



Large horizontally emphasised aluminium windows

Timber window shutters

White timber weather-boarded façade



Northern Conservation Area
Area N2
Character Assessment Proforma

34 Cole Street
Contributory Item



Mid to late Victorian workers cottage standing on a small lot.
 Simple proportions with a number of decorative features.

Lot size/ area	245m ²
Frontage width	12.75m
Lot depth	20.45m
Front set-back	2m
Rear setback	8.8m
Approx. FSR	0.59:1



Northern Conservation Area
Area N2
Character Assessment Proforma

34 Cole Street
Contributory Item

Arched brick recess detailing

Metal window shutters

Red painted corrugated galvanised iron roof

Bullnose awning in matching materials to main dwelling



Iron lacework detailing

Decorative mouldings

Moulded sills with console detailing

White painted facing brickwork

Wrought iron verandah columns position to frame the front door

Low rise cream timber picket front fence



**Northern Conservation Area
Area N2
Character Assessment Proforma**

32 Cole Street

Victorian



Site comprises two lots with the secondary lot standing to the rear and forming the property's garden.

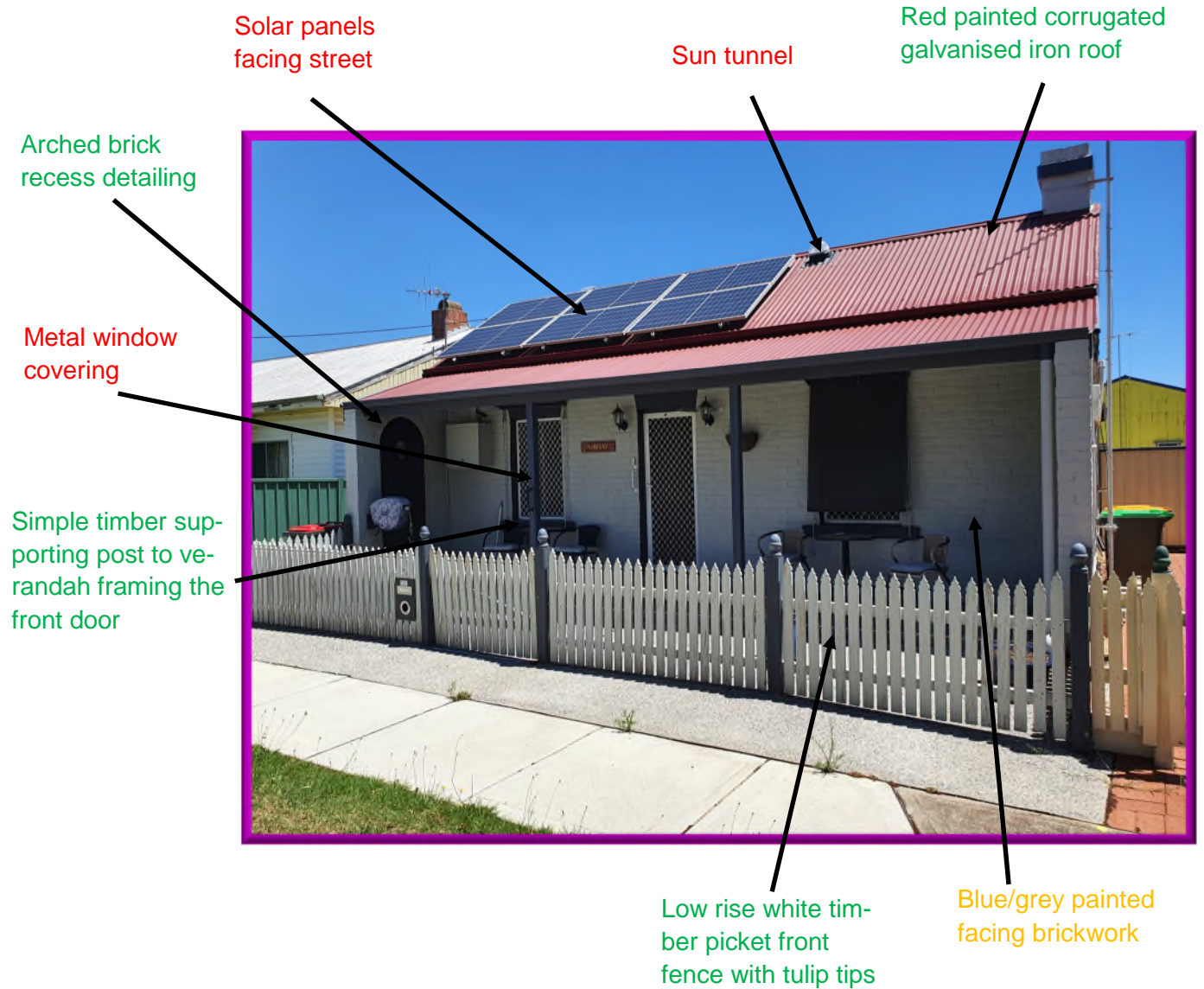
Early to mid Victorian

Lot size/ area	539m ²
Frontage width	12m
Lot depth	32.50m
Front set-back	1.7m
Rear setback	15m
Approx. FSR	0.42:1



Northern Conservation Area
Area N2
Character Assessment Proforma

32 Cole Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

30 Cole Street

**Post
War**



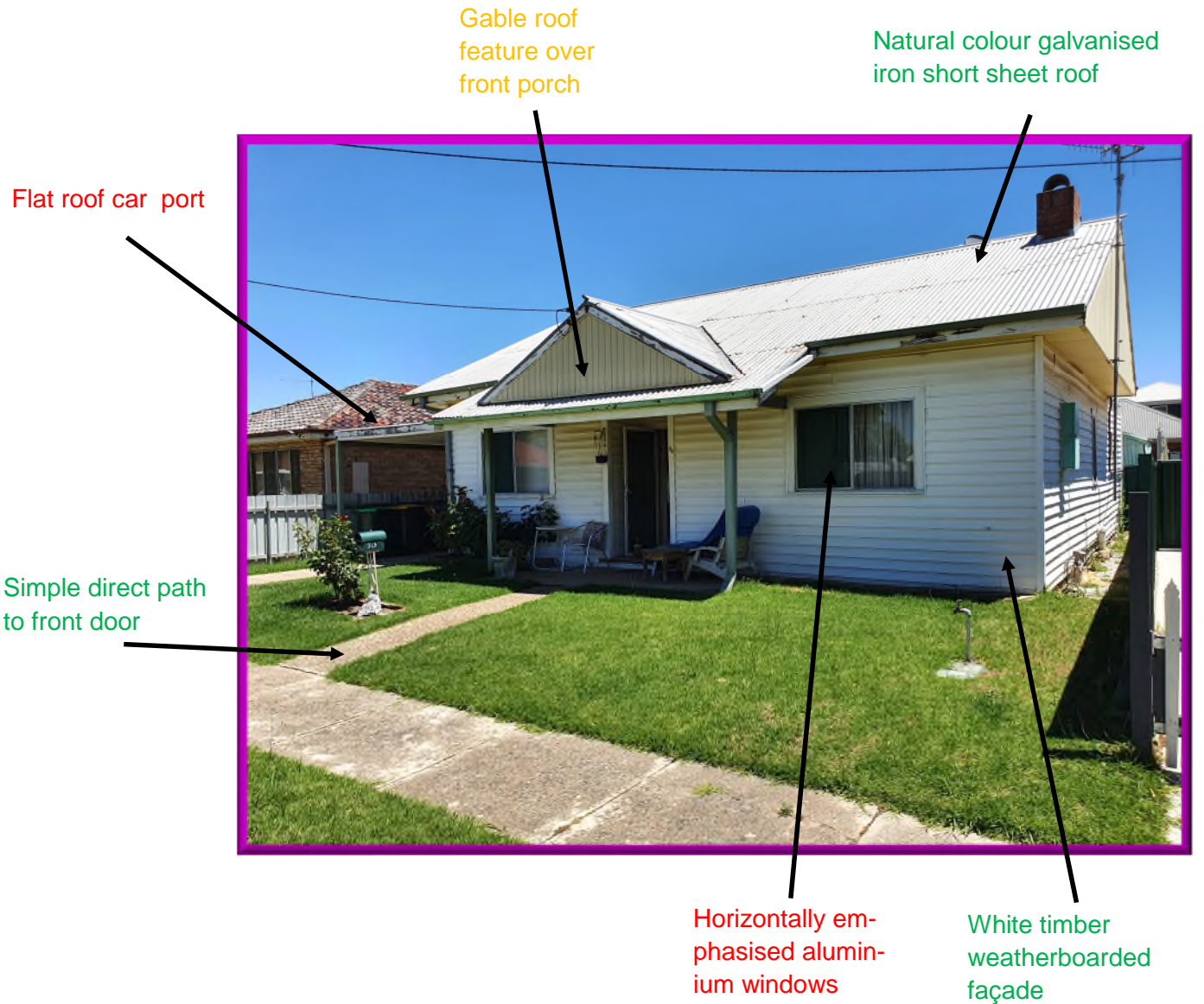
Small lot with modest post war cottage.

Lot size/ area	275m ²
Frontage width	13.75m
Lot depth	20.45m
Front set-back	2.5m
Rear setback	8m
Approx. FSR	0.67:1



Northern Conservation Area
Area N2
Character Assessment Proforma

30 Cole Street



Gable roof
feature over
front porch

Natural colour galvanised
iron short sheet roof

Flat roof car port

Simple direct path
to front door

Horizontally em-
phasised alumin-
ium windows

White timber
weatherboarded
façade



**Northern Conservation Area
Area N2
Character Assessment Proforma**

28 Cole Street

**1960's to
1990's**



Lot size/ area	480.5m ²
Frontage width	23.85m
Lot depth	20.45m
Front set-back	4.45m
Rear setback	3.25m
Approx. FSR	0.46:1

The yellow brick walls are not a common brick type within the street or the conservation area generally and contrast sharply with the more common red brick and weatherboarded facades. The property is likely a 1970's dwelling.



Northern Conservation Area
Area N2
Character Assessment Proforma

28 Cole Street



Dark red tiled roof

Large horizontally emphasised aluminium windows

Yellow brick facade

High blank wall presenting to street



**Northern Conservation Area
Area N2
Character Assessment Proforma**

**74 Grafton Street
Heritage Item**

Georgian



Lot size/ area	553m ²
Frontage width	20.4m
Lot depth	27.7m
Front set-back	2.4m
Rear setback	4.75m
Approx. FSR	0.31:1

Georgian cottage which contributes to the heritage significance of the locality.

Property stands on a site comprising three lots which presents opportunity for development but any development will need to carefully consider its potential impacts on this heritage property.



Northern Conservation Area
Area N2
Character Assessment Proforma

74 Grafton Street
Heritage Item

Natural colour galvanised iron short sheet roof

Square hipped roof with 'broken back' span to form verandah awning

Aluminium windows

Painted concrete block façade



Unpainted solid timber palisade fence

Altered verandah with brick infill and amended supporting posts



**Northern Conservation Area
Area N2
Character Assessment Proforma**

70 Grafton Street

Post
2000's



Lot size/ area	1337m2
Frontage width	20.1m
Lot depth	68.55m
Front set-back	2.25m
Rear setback	
Approx. FSR	0.48:1

A multi-dwelling development consisting of 4 single storey dwellings. This development represents a reasonable quality 'heritage style' infill scheme.

Lead property presents to the street



Northern Conservation Area
Area N2
Character Assessment Proforma

70 Grafton Street

Finial

Porthole vent
to gable apex



Timber frieze

Vertically empha-
sised timber sash
windows

French doors to
front elevation

Brown and Blue con-
trasting facing brick-
work

Cream timber picket fence with spear tips



Natural colour galvanised
iron short sheet roof



**Northern Conservation Area
Area N2
Character Assessment Proforma**

**68a Grafton Street
Heritage Item**



Lot size/ area	137m ²
Frontage width	12.4m
Lot depth	17.6m
Front set-back	2.8m
Rear setback	6m
Approx. FSR	

A long rectangular lot with a very low floor space ratio currently.

C.1860– comprises one of two semi-detached single storey Victorian workers cottages. Its local heritage significance is derived from its representative styling and relatively intact presentation.

Simple symmetrical proportions



Northern Conservation Area
Area N2
Character Assessment Proforma

68a Grafton Street
Heritage Item





Northern Conservation Area
Area N2
Character Assessment Proforma

66 Grafton Street
Heritage Item



Lot size/ area	550.1m2
Frontage width	7.8m
Lot depth	68.55m
Front set-back	2.8m
Rear setback	49.95m
Approx. FSR	

C.1860– comprises one of two semi-detached single storey Victorian workers cottages. Its local heritage significance is derived from its representative styling and relatively intact presentation.

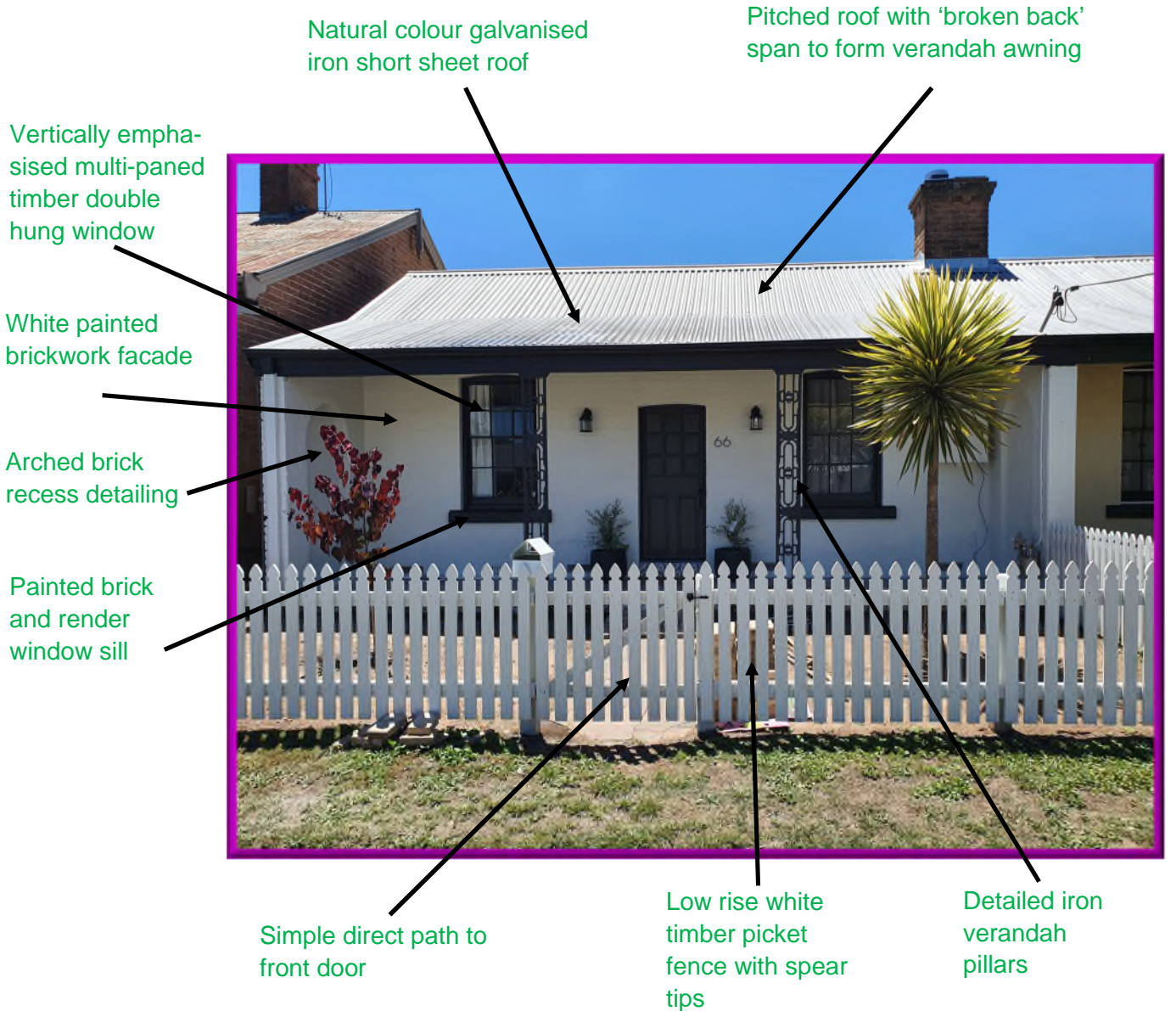
The rear garden of this property alongside adjacent properties 68,64 and 62 Grafton Street present an opportunities for further densification with suitable design and siting (inc separation distances from heritage properties).

Simple symmetrical proportions



Northern Conservation Area
Area N2
Character Assessment Proforma

66 Grafton Street
Heritage Item



Natural colour galvanised iron short sheet roof

Pitched roof with 'broken back' span to form verandah awning

Vertically emphasised multi-paned timber double hung window

White painted brickwork facade

Arched brick recess detailing

Painted brick and render window sill

Simple direct path to front door

Low rise white timber picket fence with spear tips

Detailed iron verandah pillars



Northern Conservation Area
Area N2
Character Assessment Proforma

64 Grafton Street
Heritage Item

Lot size/ area	703.1m ²
Frontage width	10.4m
Lot depth	68.55m
Front set-back	2m
Rear setback	43.05m
Approx. FSR	0.33:1

The rear garden of this property alongside adjacent properties 68, 66 and 62 Grafton Street present an opportunity for further densification with suitable design and siting (Inc. separation distances from heritage properties).

Also known as "Iona"

A federation style brick built residence.

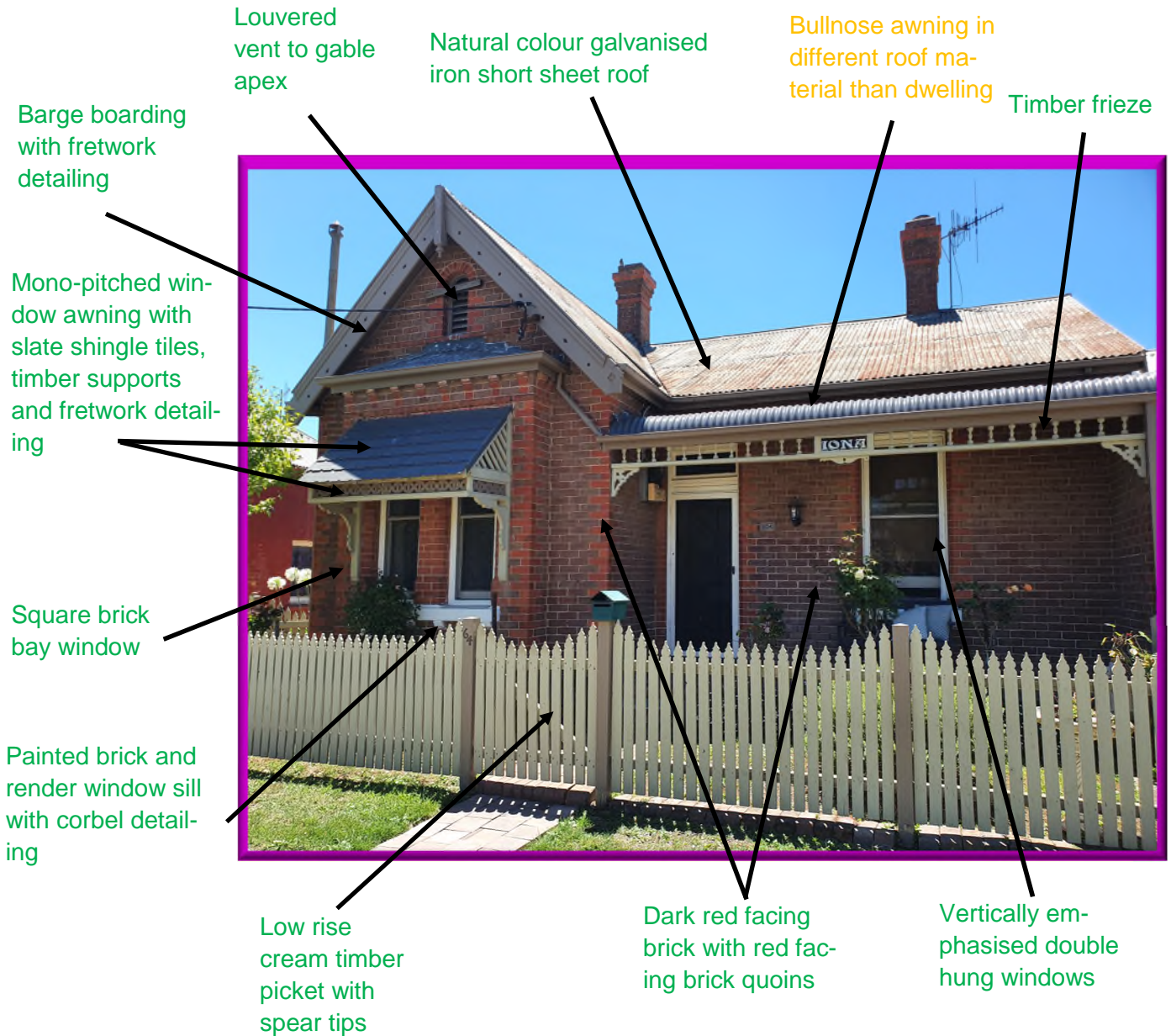
Its local heritage significance is derived from its quality of detail and intactness.





Northern Conservation Area
Area N2
Character Assessment Proforma

64 Grafton Street
Heritage Item



Louvered vent to gable apex

Natural colour galvanised iron short sheet roof

Bullnose awning in different roof material than dwelling

Timber frieze

Barge boarding with fretwork detailing

Mono-pitched window awning with slate shingle tiles, timber supports and fretwork detailing

Square brick bay window

Painted brick and render window sill with corbel detailing

Low rise cream timber picket with spear tips

Dark red facing brick with red facing brick quoins

Vertically emphasised double hung windows



**Northern Conservation Area
Area N2
Character Assessment Proforma**

**62 Grafton Street
Heritage Item**

Lot size/ area	701m ²
Frontage width	10.65m
Lot depth	68.55m
Front set-back	0m
Rear setback	49.25m
Approx. FSR	0.25:1

The rear garden of this property alongside adjacent properties 68, 66 and 64 Grafton Street present an opportunity for further densification with suitable design and siting (Inc. separation distances from heritage properties).

1850 Georgian four room cottage which stands very close to the pavement.





Northern Conservation Area
Area N2
Character Assessment Proforma

62 Grafton Street
Heritage Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

54 Grafton Street

**1960's to
1990's**



Lot size/ area	2636m ²
Frontage width	27.75m
Lot depth	102.15m
Front set-back	8.75m
Rear setback	45.8m
Approx. FSR	0.20:1

Multi-dwelling development which has a poor relationship with Grafton Street and detracts from the character of the streetscape and Heritage Conservation Area.

The site comprises two lots and provides access via Grafton Street, Bruce Street and the entrance to the existing Hertz site to the rear. The site has a relatively low floor space ratio and redevelopment presents an opportunity to intensify the use of this site, ensuring land is used efficiently and effectively whilst enhancing the sites contribution to the significance of the conservation area.



Northern Conservation Area
Area N2
Character Assessment Proforma

54 Grafton Street



Horizontally emphasised windows

Flat roof

Little to no articulation of front façade

Large expanse of hardstanding

Yellow brick facade



**Northern Conservation Area
Area N2
Character Assessment Proforma**

52 Grafton Street

**Post
War**



Lot size/ area	371.3m ²
Frontage width	10.9m
Lot depth	34m
Front set-back	5.1m
Rear setback	6.5m
Approx. FSR	0.49:1

The lot has a dual frontage with Grafton Street and Bruce Street.
This property is a post war property constructed around the 1930's/1940's



Northern Conservation Area
Area N2
Character Assessment Proforma

52 Grafton Street

Brick bay 3
casement timber
double hung
window

Red tiled roof



Large horizontally
emphasised window

Painted facing
brickwork

Low rise brick wall with
bullnose coping stones
and corbelling

Enclosed
verandah



**Northern Conservation Area
Area N2
Character Assessment Proforma**

**46 Grafton Street
Heritage Item**



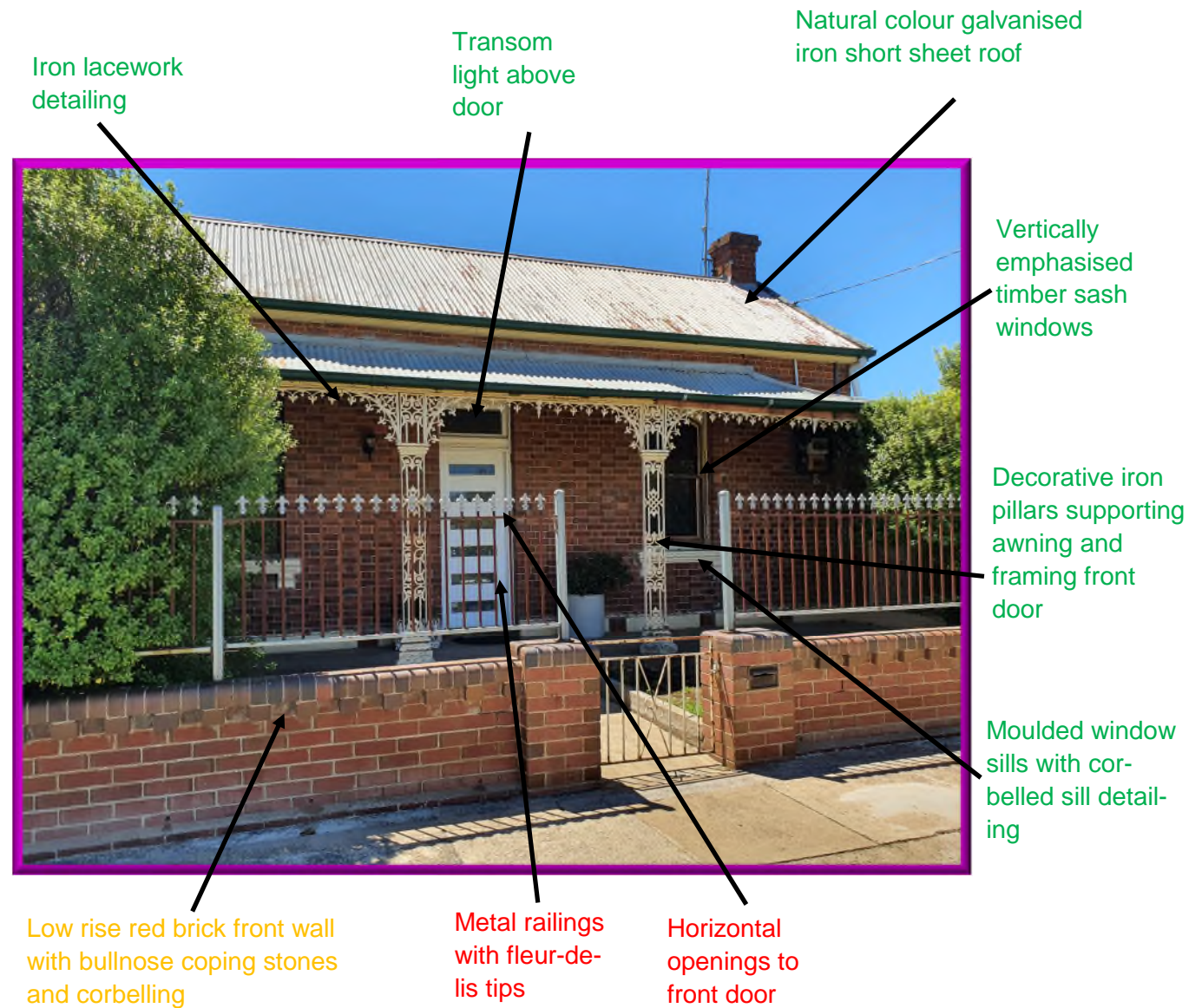
Lot size/ area	632m2
Frontage width	14.1m
Lot depth	60.7m
Front set-back	2.3m
Rear setback	38.3m
Approx. FSR	0.54:1

Brick and Iron Victorian cottage attached to 44 Grafton Street.
 Their local heritage significance is derived from their contribution to the streetscape and their representative of the quality of heritage buildings in this area.
 The lot has a dual frontage with Grafton Street and Bruce Street.
 Large lean-to extension to the rear.



Northern Conservation Area
Area N2
Character Assessment Proforma

46 Grafton Street
Heritage Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

**44 Grafton Street
Heritage Item**



Lot size/ area	632m2
Frontage width	11.15m
Lot depth	60.7m
Front set-back	2.2m
Rear setback	32.4m
Approx. FSR	0.56:1

Brick and Iron Victorian cottage attached to 46 Grafton Street.
Their local heritage significance is derived from their contribution to the streetscape and their representative of the quality of heritage buildings in this area.



Northern Conservation Area
Area N2
Character Assessment Proforma

44 Grafton Street
Heritage Item

Red painted short
sheet galvanised
iron roof

Arched brick
recess detailing

Missing
lacework

Common red
facing brick

Arched timber
double hung
windows with
arched brick
detailing

Moulded window
sills with cor-
belled sill detail-
ing



Side light
and transom
light to door

Bullnose
brickwork
edging



Northern Conservation Area
Area N2
Character Assessment Proforma

42 Grafton Street
Contributory Item

Inter
war



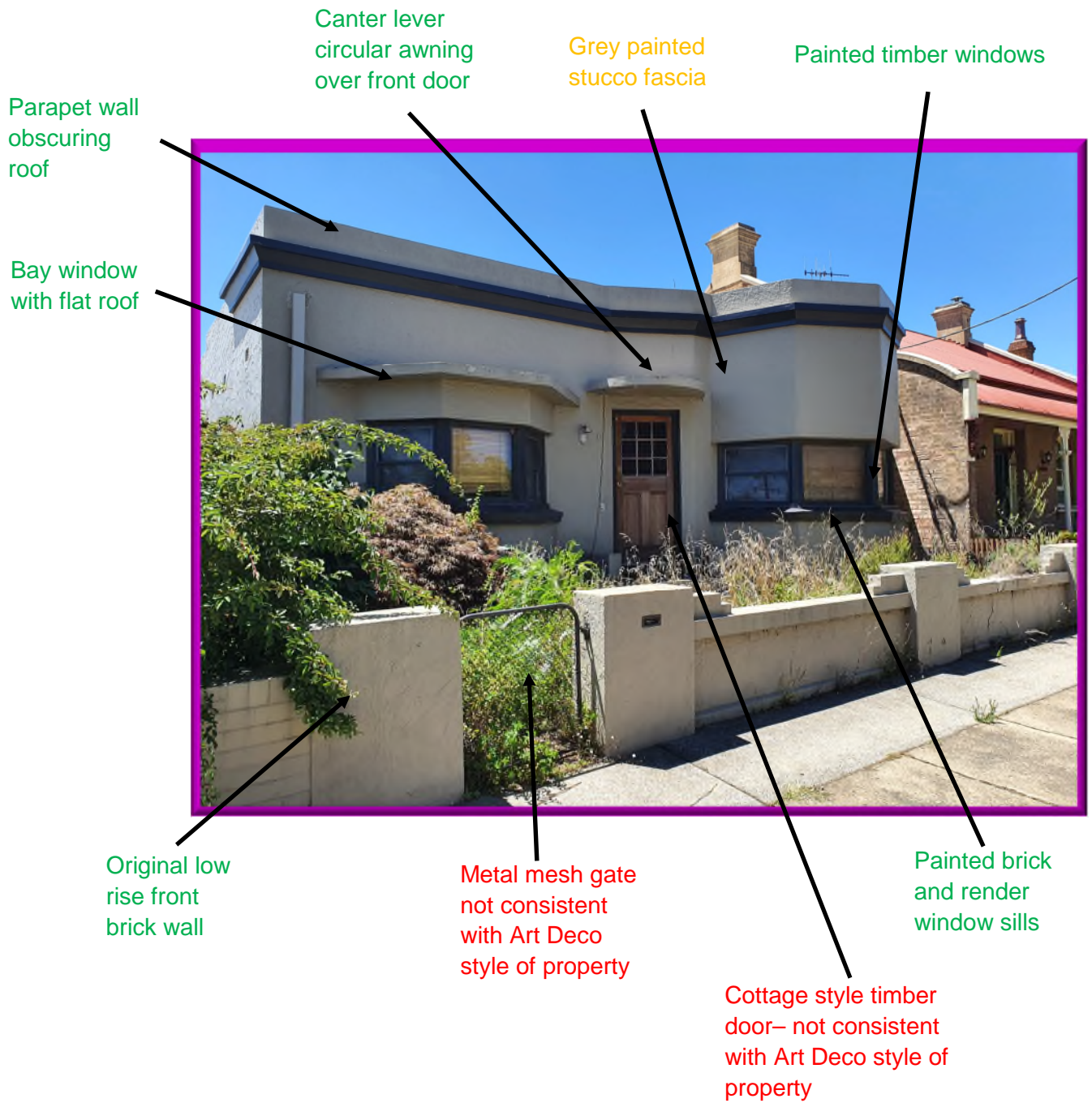
Lot size/ area	615m ²
Frontage width	10.35m
Lot depth	60.7m
Front set-back	4m
Rear setback	44m
Approx. FSR	0.32:1

Art Deco styling



**Northern Conservation Area
Area N2
Character Assessment Proforma**

**42 Grafton Street
Contributory Item**





**Northern Conservation Area
Area N2
Character Assessment Proforma**

**40 Grafton Street
Heritage Item**



Lot size/ area	670m ²
Frontage width	10.9m
Lot depth	60.7m
Front set-back	3.7m
Rear setback	32.6m
Approx. FSR	0.48:1

Federation style cottage which is relatively intact and is significant locally for its association with other buildings in Grafton Street of the same era.

Property stands out as weatherboard construction rather than the usual brick housing stock of a similar design and era.



Northern Conservation Area
Area N2
Character Assessment Proforma

40 Grafton Street
Heritage Item

Square hipped roof with natural coloured galvanised iron sheet

Bullnose awning with matching material to main roof

Timber frieze

Finial

Painted batten upper gable detailing



Mono-pitched window awning with timber side brackets

Pastel painted weatherboard facade

2 casement, vertically emphasised windows

Timber picket fence

Direct brick paver path to front door from pavement



**Northern Conservation Area
Area N2
Character Assessment Proforma**

**38 Grafton Street
Contributory Item**

**Inter
war**



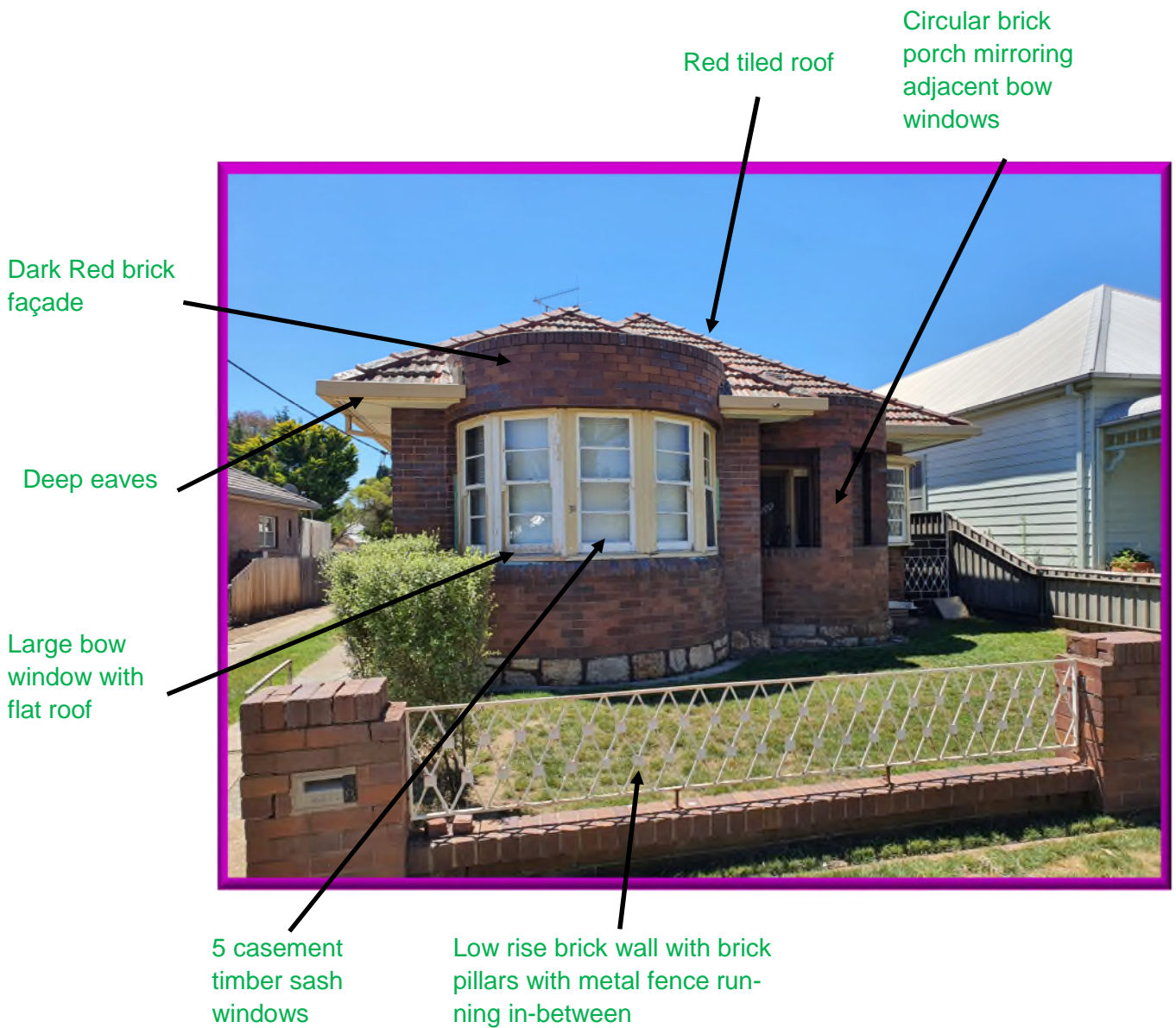
Lot size/ area	663.9m ²
Frontage	13.3m
Lot depth	55.75m
Front set-back	4.55m
Rear setback	30.2m
Approx. FSR	0.41:1

Includes some Art Deco features. Property likely c. 1930s
Twin track pavers form the driveway running along the side of the property.
Triple frontage property



Northern Conservation Area
Area N2
Character Assessment Proforma

38 Grafton Street
Contributory Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

36 Grafton Street

**Post
War**



Lot size/ area	895.7m
Frontage width	16.1m
Lot depth	54.8m
Front set-back	4m
Rear setback	29m
Approx. FSR	0.27:1

This property was constructed around the late 1940's to 1950's



Northern Conservation Area
Area N2
Character Assessment Proforma

32 Grafton Street
Heritage Item

Federation



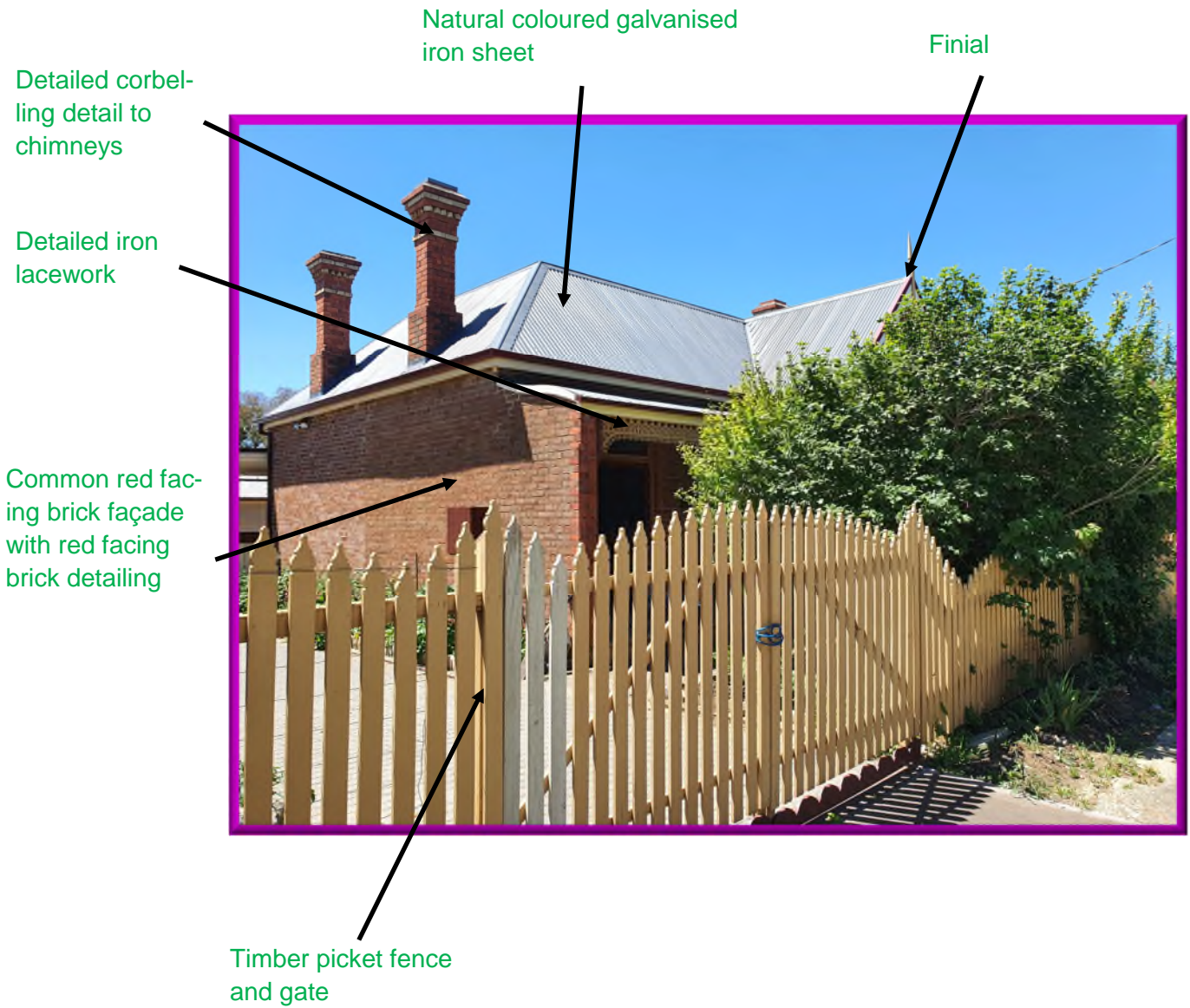
Lot size/ area	556.4m2
Frontage width	20.5m
Lot depth	27.5m
Front set-back	3.8m
Rear setback	7.1m
Approx. FSR	0.46:1

Federation style dwelling. Fine detailing of local heritage significance. The property is well maintained and relatively intact. The property contributes to the streetscape of Grafton Street.



Northern Conservation Area
Area N2
Character Assessment Proforma

32 Grafton Street
Heritage Item





**Northern Conservation Area
Area N2
Character Assessment Proforma**

24 Grafton Street

**1960's to
1990's**



Lot size/ area	1113m2
Frontage width	20.2m
Lot depth	54.8m
Front set-back	5.4m
Rear setback	21.6m
Approx. FSR	0.25:1

This lot has rear access from Fenwick Crescent.
1970's unit block development with little articulation to the front façade and represents a detraction from the quality of the streetscape and character of the heritage conservation area.



Northern Conservation Area
Area N2
Character Assessment Proforma

24 Grafton Street

Tan facing
brick facade

Horizontally
emphasised
aluminium
windows



Front entrance of
property does not
present to the street



**Northern Conservation Area
Area N2
Character Assessment Proforma**

22 Grafton Street



Lot size/ area	505.8m2
Frontage width	9.3m
Lot depth	54.8m
Front set-back	0m
Rear setback	31.75m
Approx. FSR	0.68:1

This building is representative of an earlier period but has been extensively modified over time. Some original features remain such as the upper floor windows.



Northern Conservation Area
Area N2
Character Assessment Proforma

22 Grafton Street

Upper timber sash windows

Painted brick and render window sill

Cream painted stucco facade





Northern Conservation Area
Area N2
Character Assessment Proforma

18 Grafton Street
Heritage Item



Lot size/ area	277m ²
Frontage width	8.85m
Lot depth	31.15m
Front set-back	3m
Rear setback	14m
Approx. FSR	0.41:1

1870-75 Victorian Single Storey Semi-detached pair

Forms a pair of semi-detached units with 16 Grafton Street forming the adjoining dwelling.

They have local heritage significance and contribute to the streetscape of Grafton Street. Properties are relatively intact. Together the properties provide an important visual connection to the other buildings in the street.

The low lines and simple design of workers cottages are highlighted by attractive street presentation.



Northern Conservation Area
Area N2
Character Assessment Proforma

18 Grafton Street
Heritage Item

Painted, alternating colour- corrugated iron sheet awning to verandah

Painted corrugated iron sheet roof

4 paned timber double hung windows

Painted brick and render window sills

Common red facing brick facade



Detailed iron pillars supporting awning and framing the front door

Direct path to front door with brick pavers



Northern Conservation Area
Area N2
Character Assessment Proforma

16 Grafton Street
Heritage Item



Lot size/ area	273m ²
Frontage width	8.85m
Lot depth	31.15m
Front set-back	3m
Rear setback	14m
Approx. FSR	0.42:1

1870-75 Victorian Single Storey Semi-detached pair

Forms a pair of semi-detached units with 18 Grafton Street forming the adjoining dwelling.

They have local heritage significance and contribute to the streetscape of Grafton Street.

Properties are relatively intact.

Together the properties provide an important visual connection to the other buildings in the street.

The low lines and simple design of workers cottages are highlighted by attractive street presentation.



Northern Conservation Area
Area N2
Character Assessment Proforma

16 Grafton Street
Heritage Item

Painted, alternating colour- corrugated iron sheet awning to verandah

Painted corrugated iron sheet roof

4 paned timber double hung windows

Painted brick and render window sills



Detailed iron pillars supporting awning and framing the front door

Common red facing brick facade



Northern Conservation Area
Area N2
Character Assessment Proforma

14 Grafton Street
Heritage Item



Lot size/ area	274m ²
Frontage width	8.85m
Lot depth	31.15m
Front set-back	3m
Rear setback	14m
Approx. FSR	0.41:1

1870-75 Victorian Single Storey Semi-detached pair

Forms a pair of semi-detached units with 12 Grafton Street forming the adjoining dwelling. They have local heritage significance and contribute to the streetscape of Grafton Street. Properties are relatively intact.

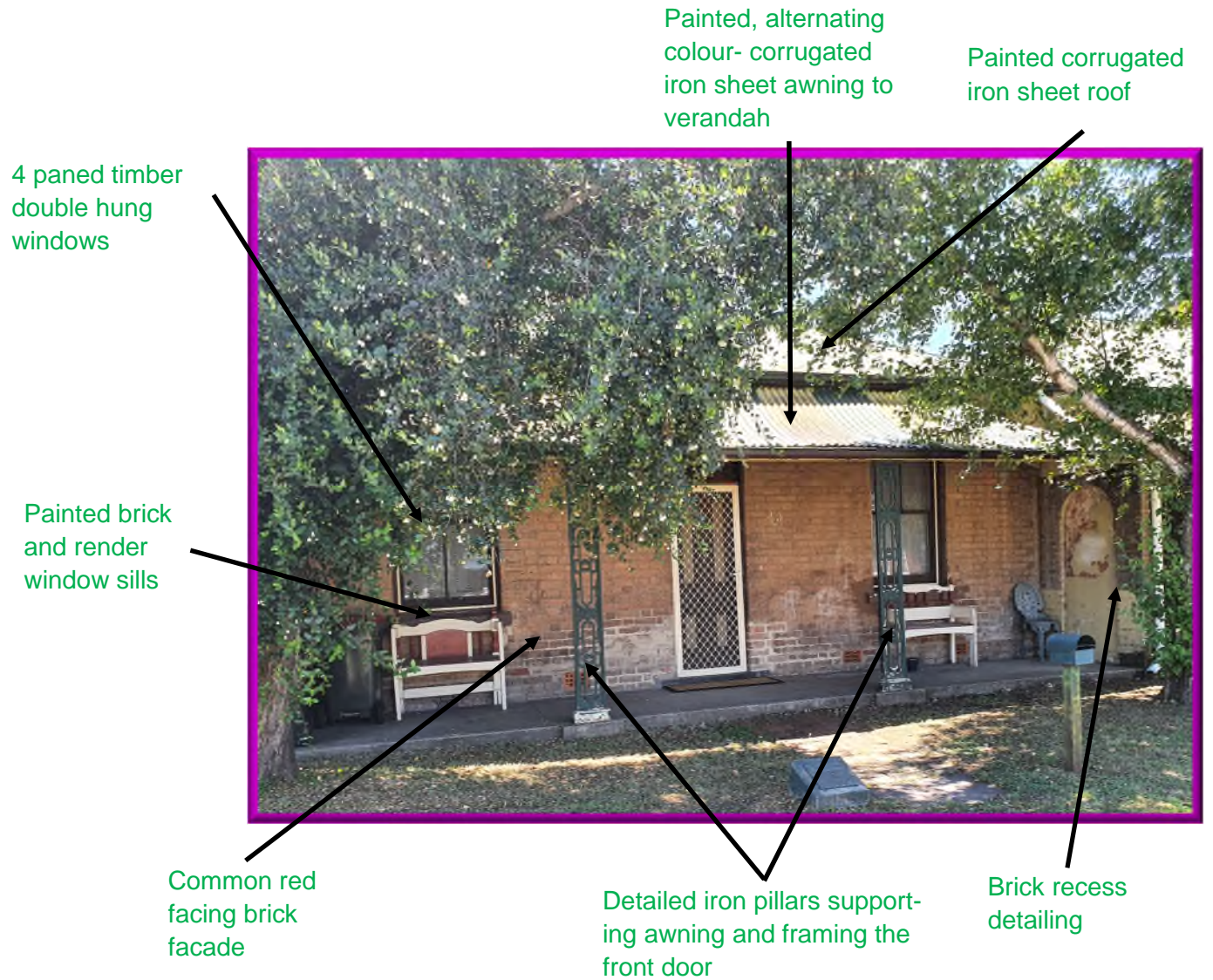
Together the properties provide an important visual connection to the other buildings in the street.

The low lines and simple design of workers cottages are highlighted by attractive street presentation.



Northern Conservation Area
Area N2
Character Assessment Proforma

14 Grafton Street
Heritage Item





Northern Conservation Area
Area N2
Character Assessment Proforma

12 Grafton Street
Heritage Item



Lot size/ area	277m2
Frontage width	8.85m
Lot depth	31.15m
Front set-back	3m
Rear setback	14m
Approx. FSR	0.41:1



1870-75 Victorian Single Storey Semi-detached pair

Forms a pair of semi-detached units with 14 Grafton Street forming the adjoining dwelling.

They have local heritage significance and contribute to the streetscape of Grafton Street.

Properties are relatively intact.

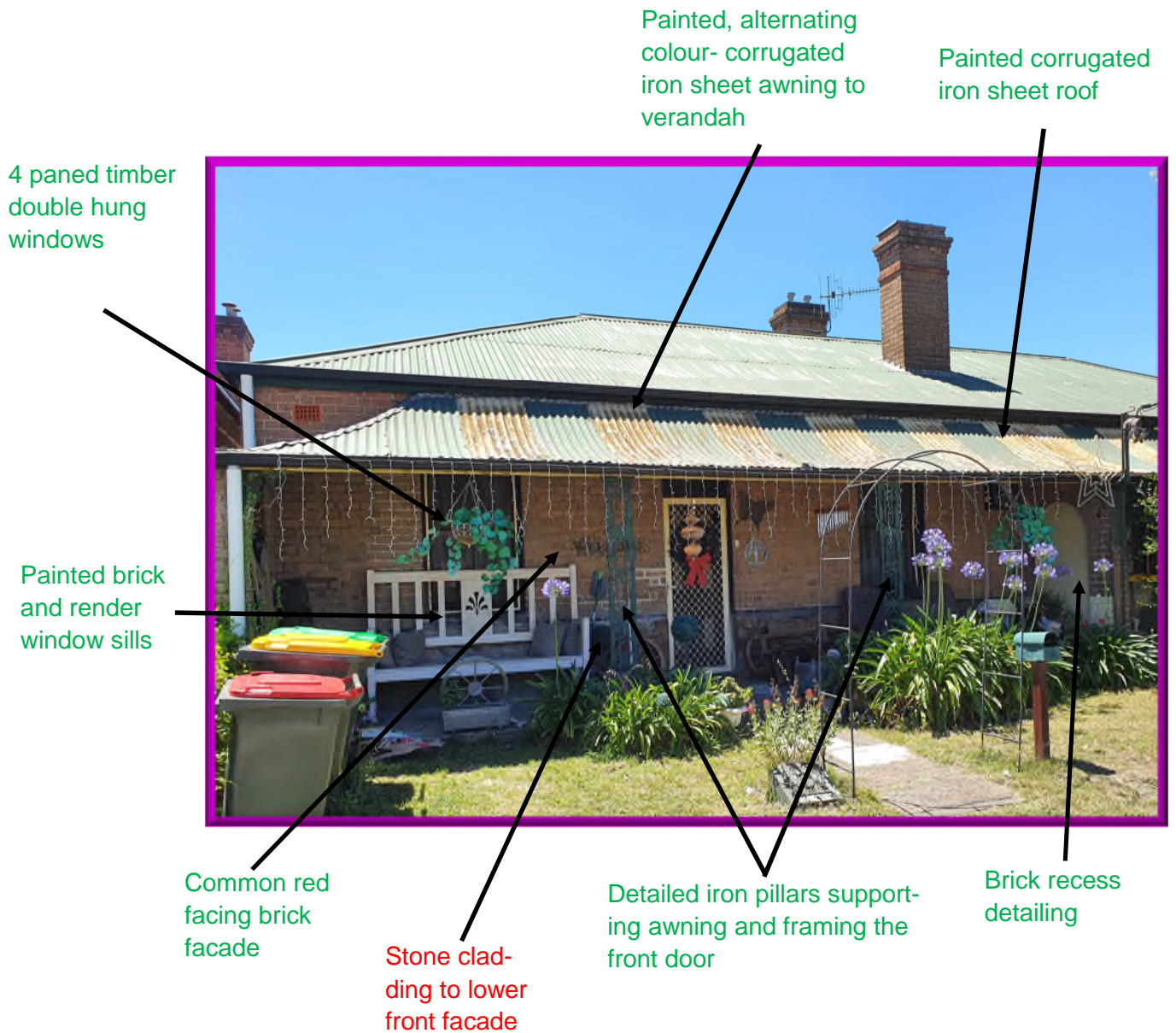
Together the properties provide an important visual connection to the other buildings in the street.

The low lines and simple design of workers cottages are highlighted by attractive street presentation.



Northern Conservation Area
Area N2
Character Assessment Proforma

12 Grafton Street
Heritage Item





Northern Conservation Area
Area N2
Character Assessment Proforma

10 Grafton Street
Contributory Item

Inter
war

Lot size/ area	512.2m2
Frontage width	9.2m
Lot depth	56.45m
Front set-back	4.3m
Rear setback	36.4m
Approx. FSR	0.33:1



Demonstration of a mix of styles with Federation styling with examples of features indicating a move towards Californian Bungalow style.
 A significant contribution to the streetscape of Grafton Street.



Northern Conservation Area
Area N2
Character Assessment Proforma

10 Grafton Street
Contributory Item

Flat roof window awning with exposed rafters

Painted timber batten detailing on upper gable

Timber lattice vent on gable apex

Flat roof verandah awning with deep eaves and exposed rafters

Side lights to front door

Deep shaded verandah

Red common facing brick with polychrome quoin detailing

Low rise red brick wall

Masonry piers with double timber columns supporting verandah awning

4 casement vertically emphasised timber box bay window with corbeled support detailing





Northern Conservation Area
Area N2
Character Assessment Proforma

8 Grafton Street

Post
2000's



Lot size/ area	230m ²
Frontage width	15.2m
Lot depth	15m
Front set-back	3.1
Rear setback	3m
Approx. FSR	





Northern Conservation Area
Area N2
Character Assessment Proforma

8 Grafton Street





Northern Conservation Area
Area N2
Character Assessment Proforma

6 Grafton Street
Heritage Item

Federation



Lot size/ area	417.6m ²
Frontage width	16.2m
Lot depth	26m
Front set-back	4m
Rear setback	1.8m
Approx. FSR	0.46:1

Single storey Federation style brick and iron construction cottage which is relatively intact. Highlights Federation styling with examples of features indicating a move towards Californian Bungalow style.

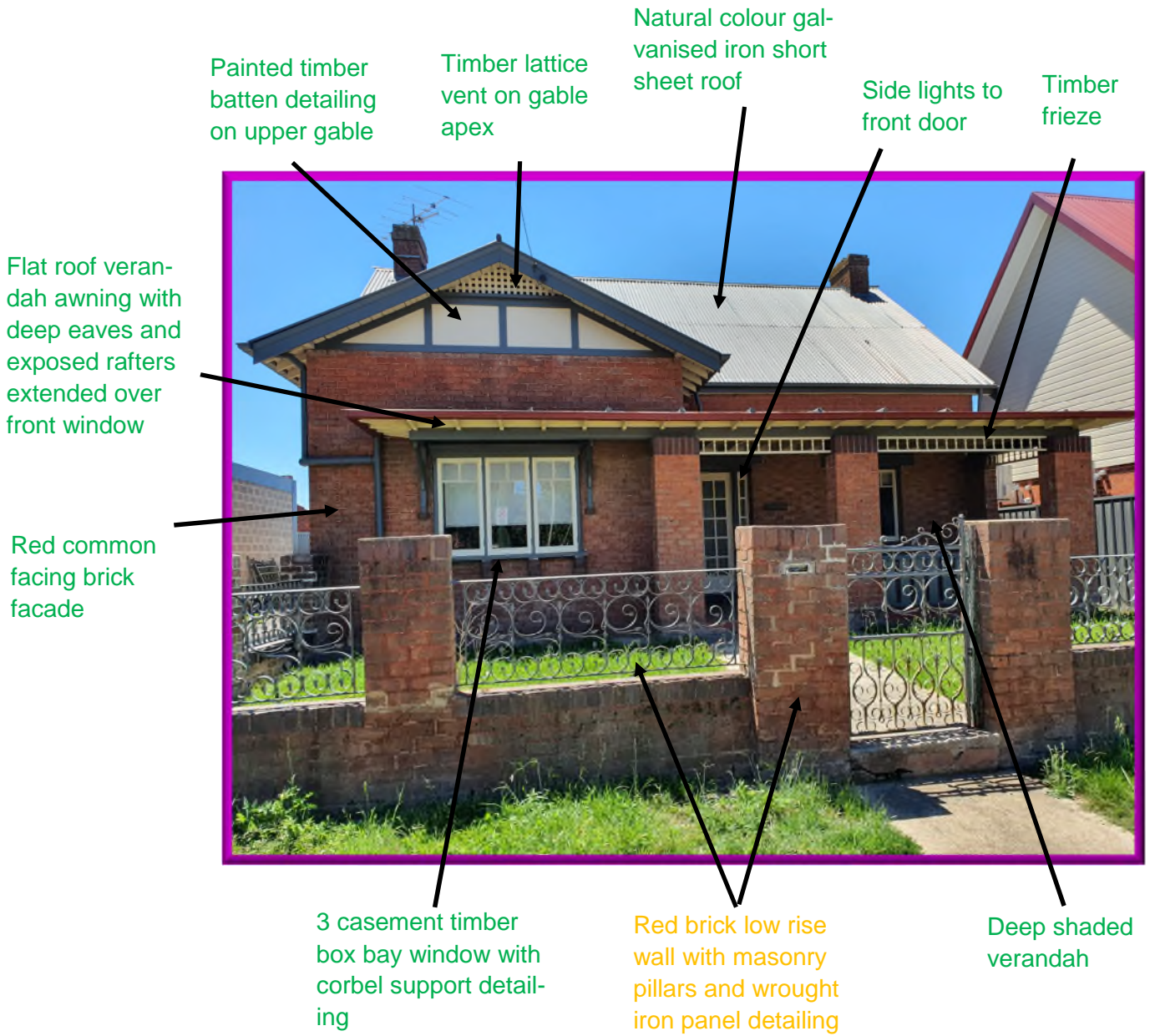
The property provides physical evidence of a key period in the historical development of Goulburn. It is significant as part of Grafton Street Area of buildings which together provide the historic evidence of the early road into the 'new' town of Goulburn.

Its aesthetic value is derived from the demonstration of stylistic trends in building design in the inter-war period when new verandah was constructed and the changing attitudes to building presentation from the 19th Century to early 20th Century. The property has heritage value at a local level.



Northern Conservation Area
Area N2
Character Assessment Proforma

6 Grafton Street
Heritage Item





Northern Conservation Area
Area N2
Character Assessment Proforma

9 Bradley Street
Contributory Item



Lot size/ area	1112.5m2
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	1.1:1

Dual frontage onto Graton and Bradley Streets.
 This is a c.1900 hotel
 Unit currently vacant.



Northern Conservation Area
Area N2
Character Assessment Proforma

9 Bradley Street
Contributory Item

Vertically emphasised
double hung windows

Window shutters

Original red
brick construction



Painted rendered
façade

Large flat roof awning
over entrance



Northern Conservation Area
Area N2
Character Assessment Proforma

11, 13, 15 & 17 Bradley Street
Heritage Item



Lot size/ area	1173.7m ²
Frontage width	22.9m
Lot depth	58.7m
Front set-back	1.1m
Rear setback	26m
Approx. FSR	0.48:1

Manfred buildings

This group of buildings comprises no.11,13,15 and 17 Bradley Street, also known as 'Leevil Terraces'.

It is a group of four late Victorian /federation style two storey terrace dwellings. They are highly distinctive and contribute architecturally to the Bradley Street streetscape. They include a 2 storey addition at the rear. The original brickwork has been painted which unfortunately removes the original face brickwork design. The buildings are likely designed by John James Lee who was associated with a nearby lumber yard. The grouping of these buildings is of high local significance. These terraces are indicative of Goulburn's working class component during the 1800's.



Northern Conservation Area
Area N2
Character Assessment Proforma

11,13, 15 & 17 Bradley Street
Heritage Item



Transom light above door

Timber French doors with transom light



Timber double hung windows with side lights

Painted timber balustrade

Red painted short sheet corrugated iron roof



Wire mesh gates



Grey painted facing brickwork



Northern Conservation Area
Area N2
Character Assessment Proforma

19 Bradley Street



Lot size/ area	1018m ²
Frontage width	14m
Lot depth	62m
Front set-back	6.9m
Rear setback	17m
Approx. FSR	0.56:1





Northern Conservation Area
Area N2
Character Assessment Proforma

19 Bradley Street





Northern Conservation Area
Area N2
Character Assessment Proforma

21 Bradley Street



Lot size/ area	1031m ²
Frontage width	15.55m
Lot depth	58.4m
Front set-back	14m
Rear setback	20.1m
Approx. FSR	0.47:1





Northern Conservation Area
Area N2
Character Assessment Proforma

21 Bradley Street





Post
War

**Northern Conservation Area
Area N2
Character Assessment Proforma**

**29 Bradley Street
Contributory Item**



Lot size/ area	583.1m ²
Frontage width	19.1m
Lot depth	26.4m
Front set-back	0m
Rear setback	9.9m
Approx. FSR	0.49:1

Dual frontage to both Bradley Street and Fenwick Crescent. This is reflective of the 1950's streamline modern styling which is rare in Goulburn.

This lot includes a residential dwelling set to the side of the commercial unit but standing alongside its rear building line.



Northern Conservation Area
Area N2
Character Assessment Proforma

29 Bradley Street
Contributory Item





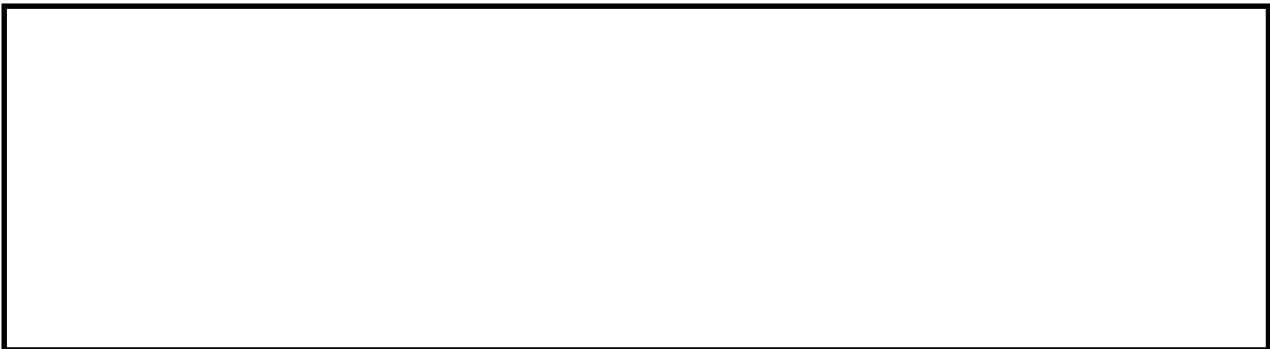
Northern Conservation Area
Area N2
Character Assessment Proforma

35 Bradley Street

Post
2000's



Lot size/ area	222.9m2
Frontage width	6.1m
Lot depth	36.6m
Front set-back	n/a
Rear setback	n/a
Approx. FSR	0.54:1





Northern Conservation Area
Area N2
Character Assessment Proforma

35 Bradley Street





**Northern Conservation Area
Area N2
Character Assessment Proforma**

39 Bradley Street



Lot size/ area	279m ²
Frontage width	6m
Lot depth	45.8m
Front set-back	5.3m
Rear setback	14m
Approx. FSR	0.47:1

A late Victorian Cottage



Northern Conservation Area
Area N2
Character Assessment Proforma

39 Bradley Street

Light blue painted weather-board façade

Louvered vent on gable apex

Finial

Timber frieze

Red painted corrugated metal sheet bullnose awning



Low rise painted timber picket fence

Timber balustrade



**Northern Conservation Area
Area N2
Character Assessment Proforma**

5 Bruce Street



Lot size/ area	235m ²
Frontage width	12m
Lot depth	19m
Front set-back	1.5m
Rear setback	8m
Approx. FSR	0.37:1

This property is a late Victorian cottage with a later verandah addition.



Northern Conservation Area
Area N2
Character Assessment Proforma

5 Bruce Street

Unsympathetic
metal deck roof



Timber dou-
ble hung win-
dows

Painted brick
and render
window sills

Masonry piers with
simple timber posts
supporting flat roof
verandah

Exposed
brickwork
facade



**Northern Conservation Area
Area N2
Character Assessment Proforma**

6 Bruce Street

**Inter
war**



This property is likely a Victorian cottage which had alterations and additions around the 1920's

Lot size/ area	336m ²
Frontage width	10m
Lot depth	34.35m
Front set-back	3m
Rear setback	6.58m
Approx. FSR	0.56:1



Northern Conservation Area
Area N2
Character Assessment Proforma

6 Bruce Street

Painted batten detailing on gable apex



Painted brick and render window sill

Low rise cream painted rendered masonry wall

Cream painted stucco facade

Large expansive window



Northern Conservation Area
Area N2
Character Assessment Proforma

7 Bruce Street



Lot size/ area	259m ²
Frontage width	13.5m
Lot depth	34.35m
Front set-back	0.5m
Rear setback	8m
Approx. FSR	0.32:1

A late Victorian Cottage



Northern Conservation Area
Area N2
Character Assessment Proforma

7 Bruce Street

Mono-pitched awning in matching materials as main roof

Square hipped roof

Natural colour galvanised iron short sheet roof

Timber double hung windows

Air conditioning unit

Timber balustrade

Painted weather-board facade





Northern Conservation Area
Area N2
Character Assessment Proforma

8 Bruce Street

Victorian



Skillion rear extension

Lot size/ area	385m ²
Frontage width	11.5m
Lot depth	34.35m
Front set-back	3m
Rear setback	19m
Approx. FSR	0.47:1



Northern Conservation Area
Area N2
Character Assessment Proforma

8 Bruce Street

Natural colour galvanised iron sheet roof

Aluminium double hung windows

Cream painted stucco facade



Simple timber post supporting awning and framing front door

Simple direct path from pavement to front door

Low rise painted brick boundary wall with contrasting painted brick coping stones



Northern Conservation Area
Area N2
Character Assessment Proforma

9 Bruce Street



Lot size/ area	461m ²
Frontage width	29m
Lot depth	34.35m
Front set-back	1.2m
Rear setback	3m
Approx. FSR	0.45:1





**Northern Conservation Area
Area N2
Character Assessment Proforma**

9 Bruce Street

A large, empty rectangular box with a purple border, intended for the character assessment proforma.



**Northern Conservation Area
Area N2
Character Assessment Proforma**

10 Bruce Street

Victorian



One in a pair of Semi detached properties. Victorian Cottage.
Simple symmetrical proportions.

Lot size/ area	376m ²
Frontage width	11.5m
Lot depth	34.35m
Front set-back	3m
Rear setback	19m
Approx. FSR	0.26:1



Northern Conservation Area
Area N2
Character Assessment Proforma

10 Bruce Street

Natural colour galvanised iron sheet roof

Verandah awning separate from main dwelling roof

Pained brick and render window sills



Rendered and grey painted facade

Simple timber post supporting awning and framing front door

Simple direct path from pavement to front door

Air conditioning unit



**Northern Conservation Area
Area N2
Character Assessment Proforma**

11 Bruce Street



Lot size/ area	4838m ²
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	0.15:1

Large site predominantly comprising large area of hardstanding. A large storage building also stands on the site.



Northern Conservation Area
Area N2
Character Assessment Proforma

11 Bruce Street





Northern Conservation Area
Area N2
Character Assessment Proforma

12 Bruce Street

Victorian



One in a pair of Semi detached properties. Victorian Cottage.
Skillion rear extension

Lot size/ area	273m ²
Frontage width	8m
Lot depth	34.35m
Front set-back	3m
Rear setback	19m
Approx. FSR	0.44:1



Northern Conservation Area
Area N2
Character Assessment Proforma

12 Bruce Street

Continuous roof span
forms verandah awning

Natural colour galvanised
iron sheet roof

White painted
brick facade



Steel pipe
columns

Wire mesh fencing
and gate



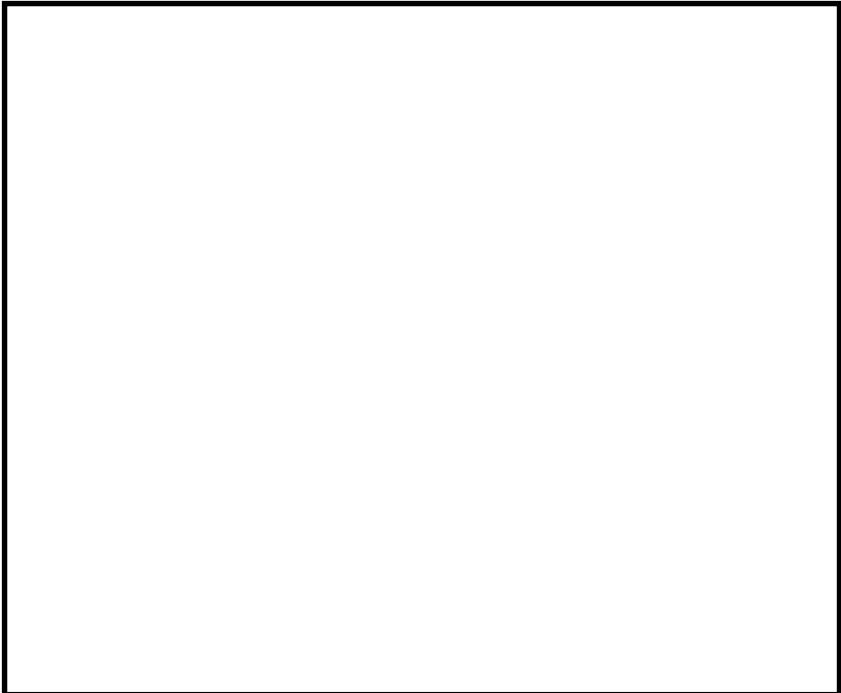
**Northern Conservation Area
Area N2
Character Assessment Proforma**

13 Bruce Street

**1960's to
1990's**



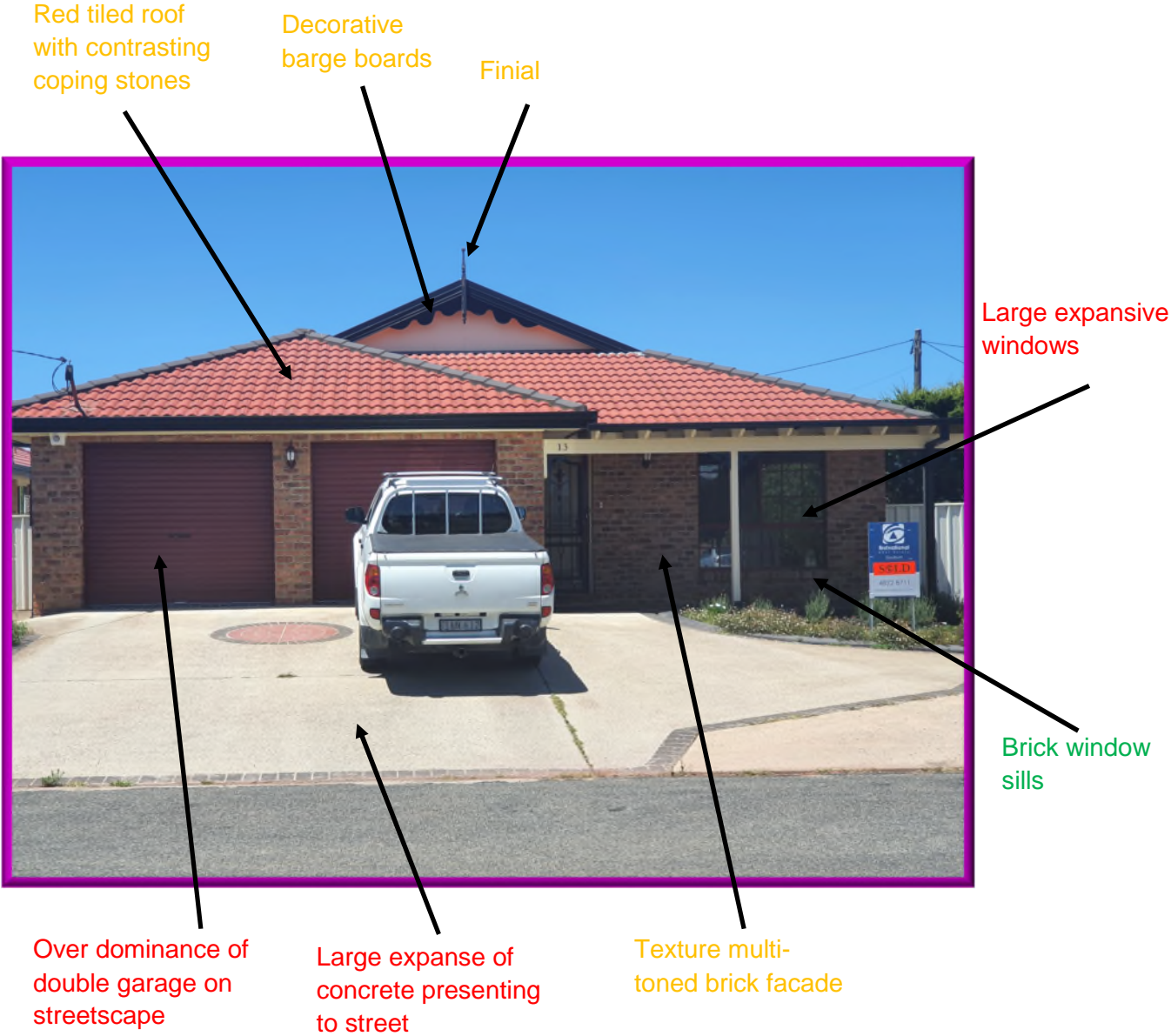
Lot size/ area	457m2
Frontage width	14.5m
Lot depth	32m
Front set-back	4m
Rear setback	7m
Approx. FSR	0.58:1





Northern Conservation Area
Area N2
Character Assessment Proforma

13 Bruce Street



Red tiled roof with contrasting coping stones

Decorative barge boards

Finial

Large expansive windows

Brick window sills

Over dominance of double garage on streetscape

Large expanse of concrete presenting to street

Texture multi-toned brick facade



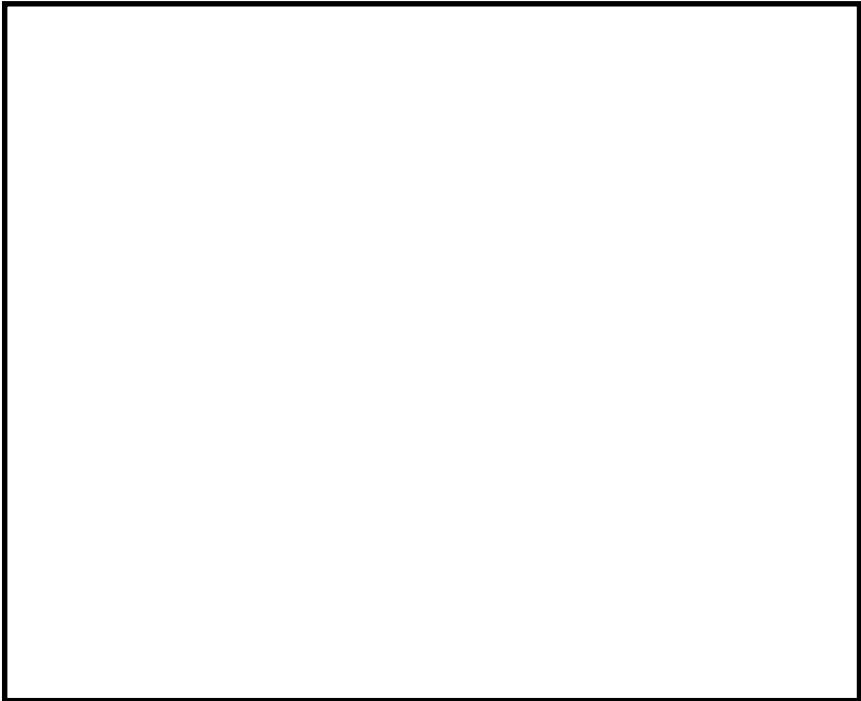
**Northern Conservation Area
Area N2
Character Assessment Proforma**

15 Bruce Street

**1960's to
1990's**



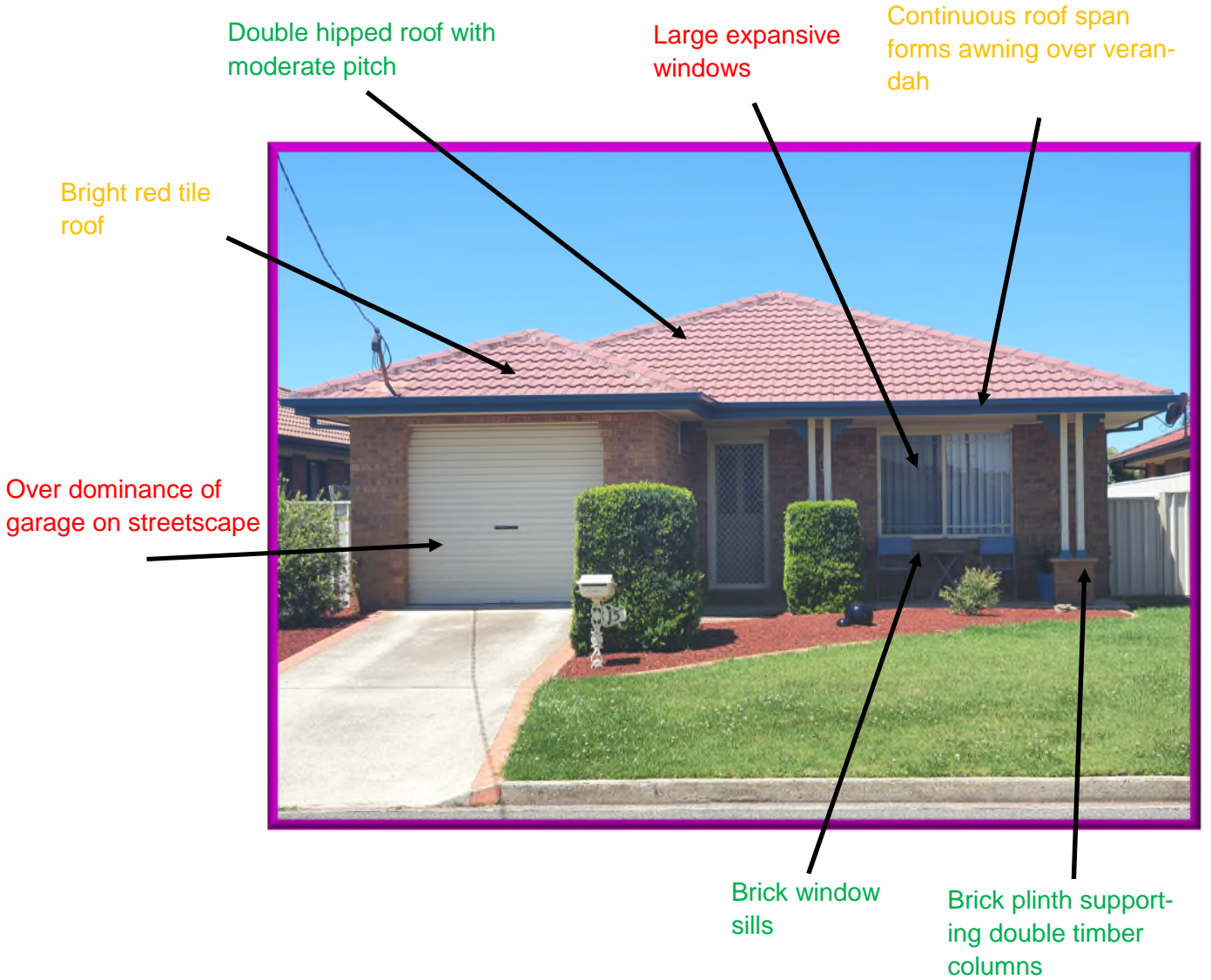
Lot size/ area	390m ²
Frontage width	12m
Lot depth	32m
Front set-back	4m
Rear setback	7.5m
Approx. FSR	0.56:1





Northern Conservation Area
Area N2
Character Assessment Proforma

15 Bruce Street

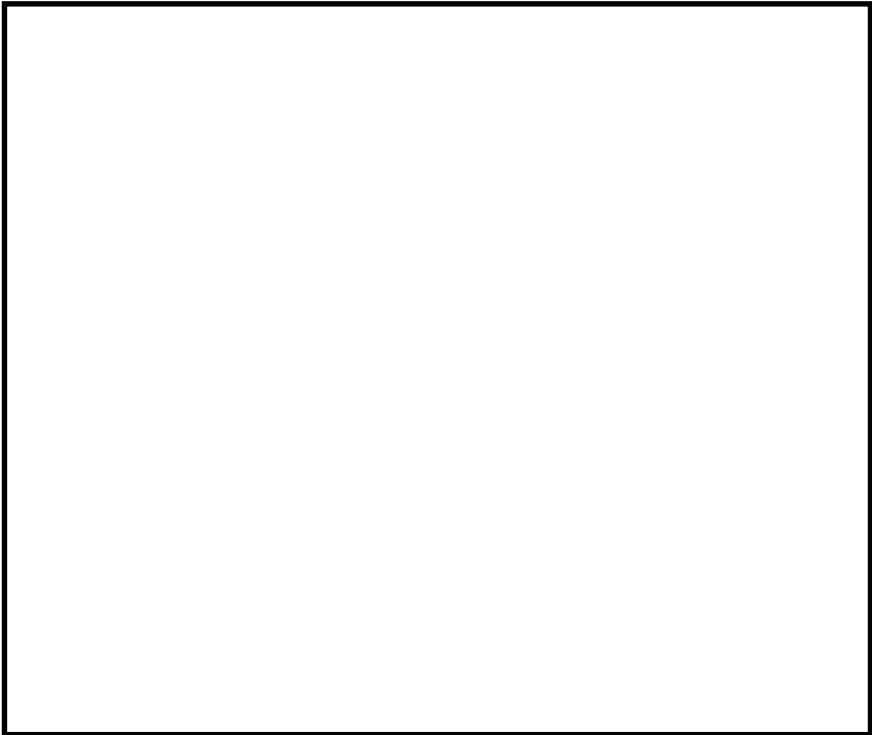




Northern Conservation Area
Area N2
Character Assessment Proforma

17 Bruce Street

1960's to
1990's

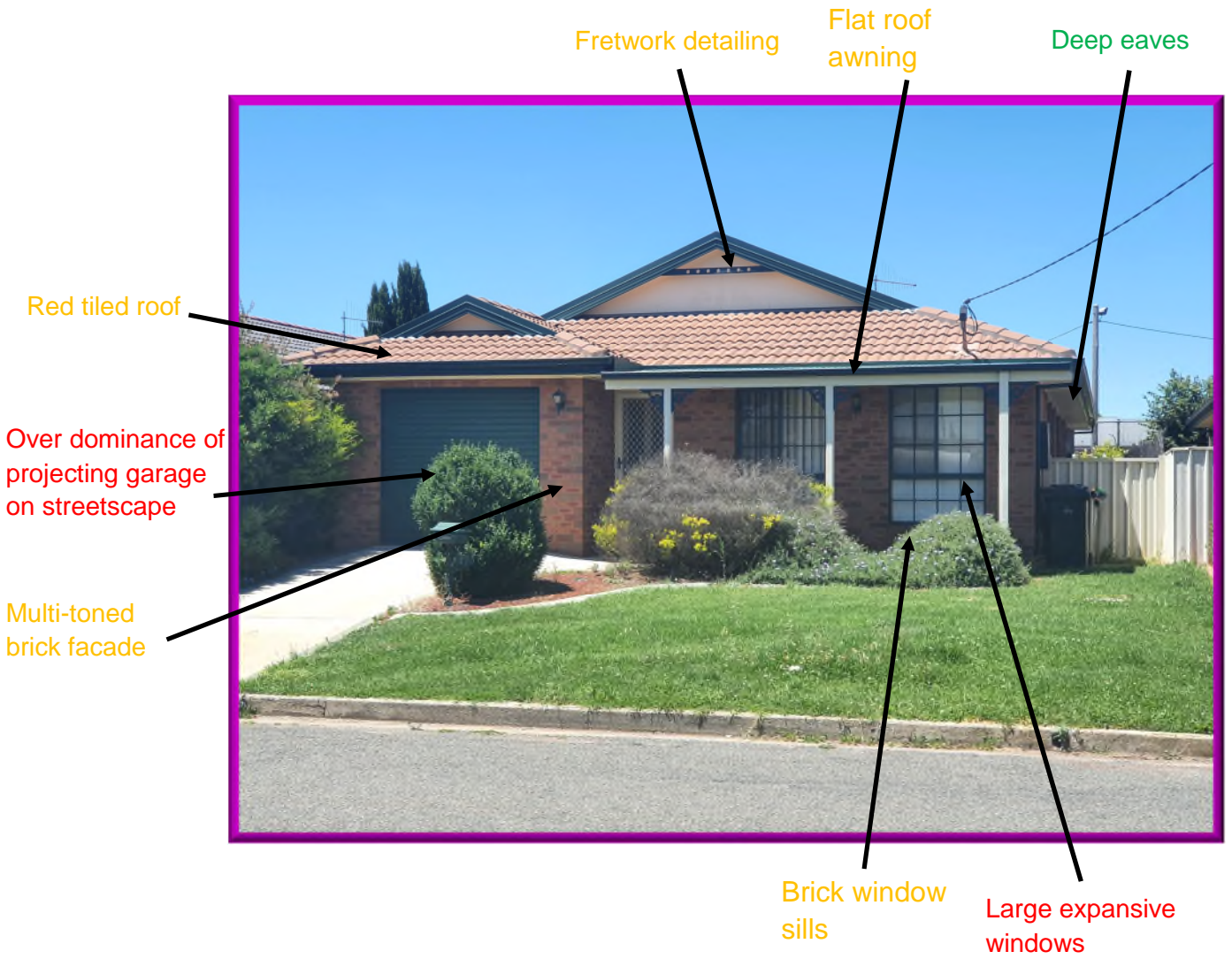


Lot size/ area	390m ²
Frontage width	12m
Lot depth	32m
Front set-back	4m
Rear setback	8m
Approx. FSR	0.57:1



Northern Conservation Area
Area N2
Character Assessment Proforma

17 Bruce Street





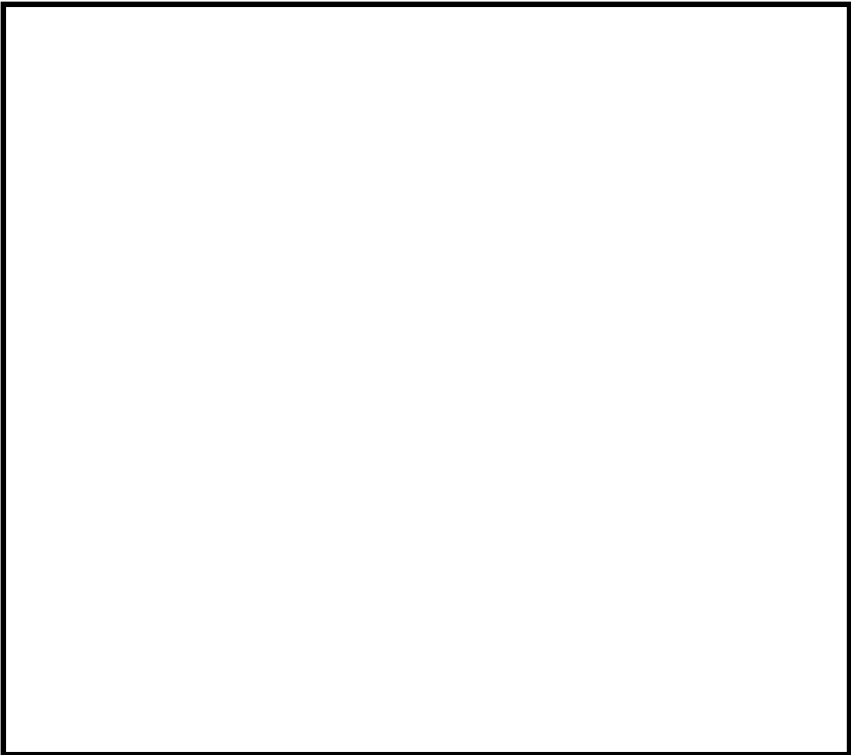
Northern Conservation Area
Area N2
Character Assessment Proforma

19 Bruce Street

**1960's to
1990's**



Lot size/ area	390m ²
Frontage width	12m
Lot depth	32m
Front set-back	5m
Rear setback	7.5m
Approx. FSR	0.51:1





Northern Conservation Area
Area N2
Character Assessment Proforma

19 Bruce Street



View of property
façade obscured

Light red
brick facade

Large expanse of concrete
presenting to street

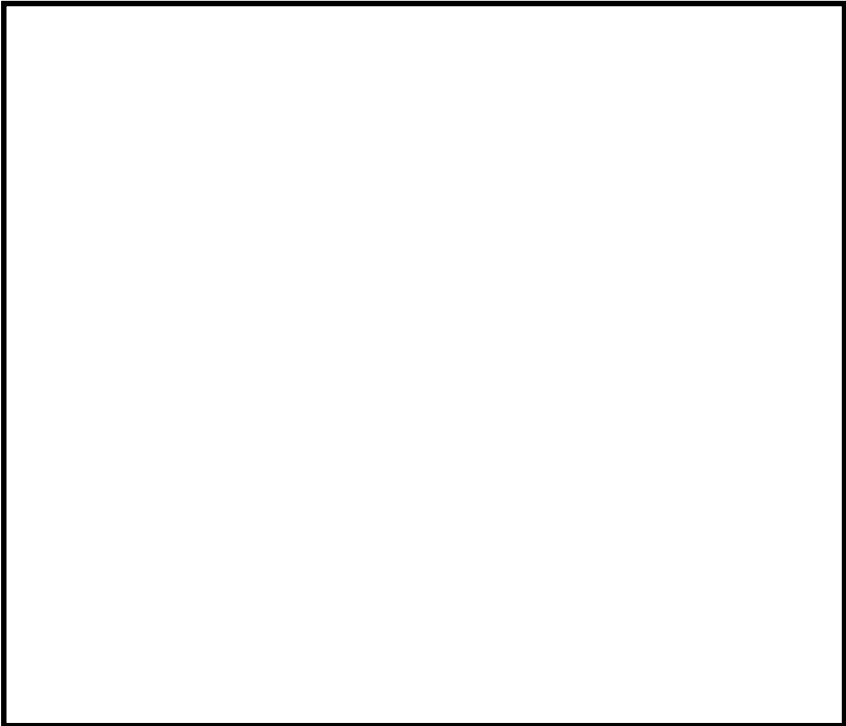
Over dominance of garage on
streetscape



**Northern Conservation Area
Area N2
Character Assessment Proforma**

21 Bruce Street

**1960's to
1990's**

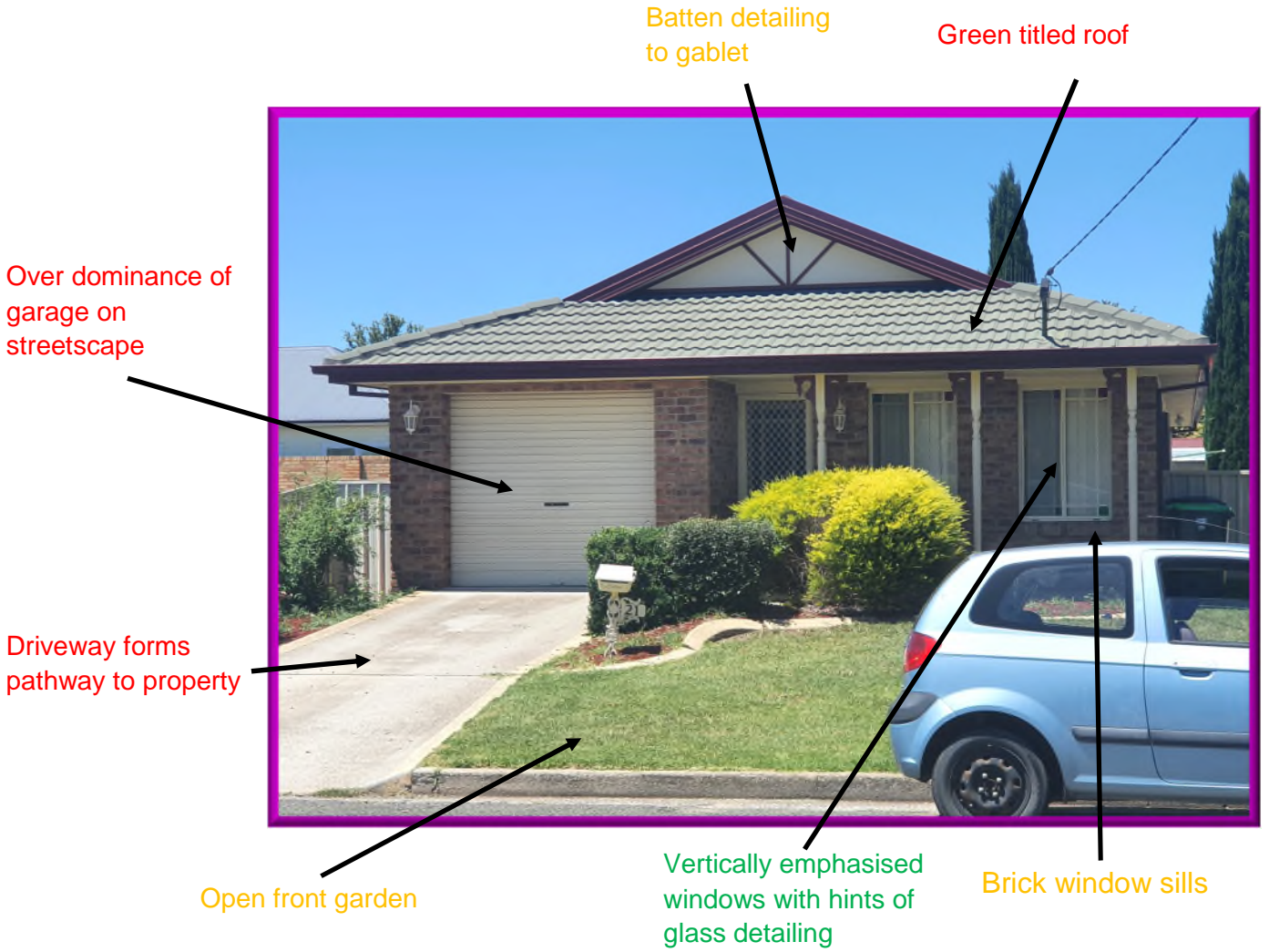


Lot size/ area	390m ²
Frontage width	12m
Lot depth	32m
Front set-back	4m
Rear setback	9m
Approx. FSR	0.45:1



Northern Conservation Area
Area N2
Character Assessment Proforma

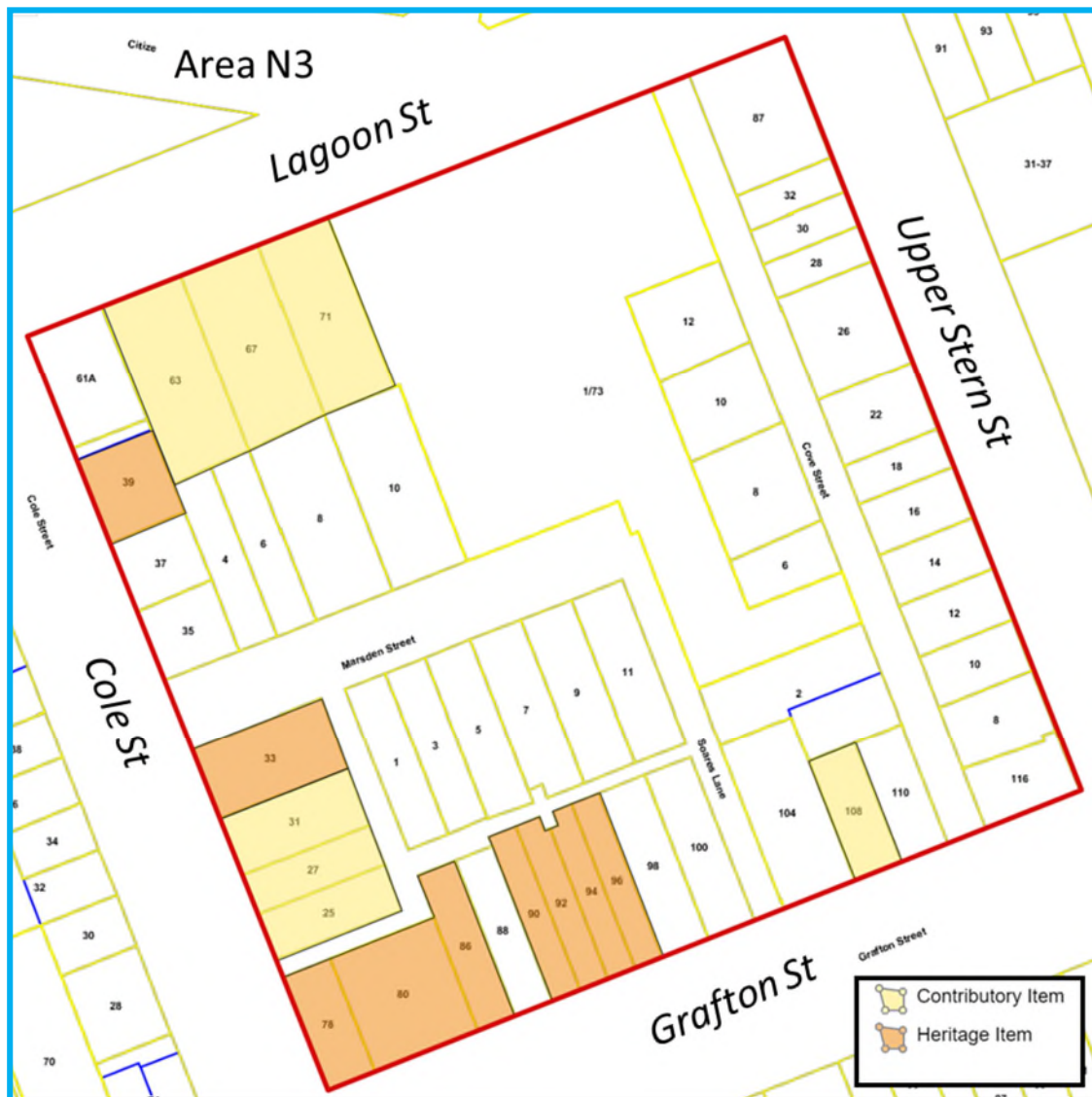
21 Bruce Street



Assessment Area N3: Northern Gateway Precinct

Included Streets:

- Lagoon Street
- Cole Street
- Cove Street
- Marsden Street
- Upper Stern Street & Soares Lane





Northern Conservation Area
Area N3
Character Assessment Proforma

39 Cole Street
Heritage Item



Lot size/ area	503 m2
Frontage width	25.8m
Lot depth	25.8m
Front set-back	3m
Rear setback	1m
Approx. FSR	0.62:1

Victorian Italinete Style featuring polychrome brickwork and masonry and iron fence. Property is of local significance .

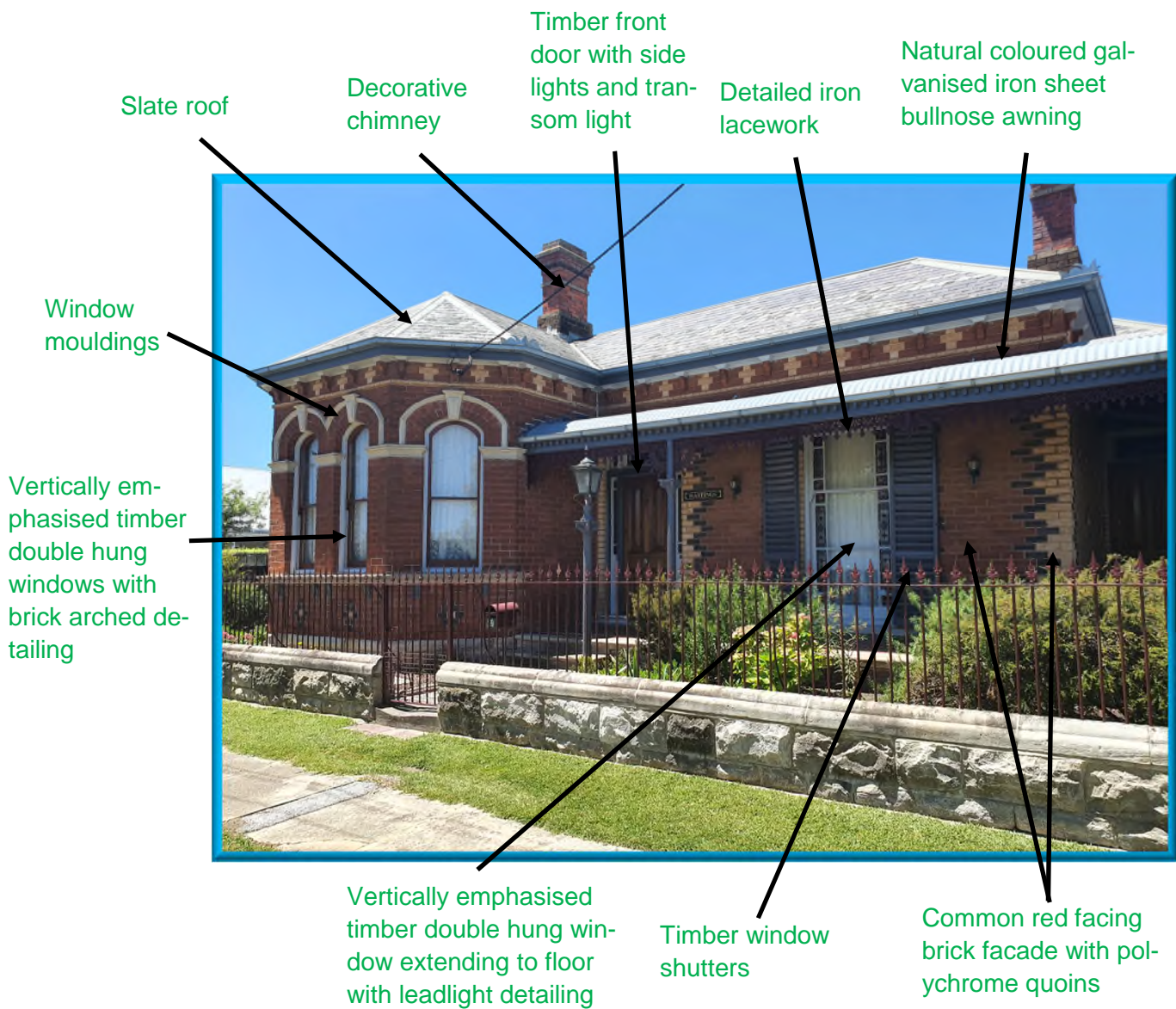
Dominated by the bay window and decorative embellishments makes the residence highly distinctive in the streetscape.

The garage detracts from the house but the vegetation provides some screening and separation.



Northern Conservation Area
Area N3
Character Assessment Proforma

39 Cole Street
Heritage Item





Northern Conservation Area
Area N3
Character Assessment Proforma

37 Cole Street

Inter
war



Lot size/ area	366 m2
Frontage width	18.5m
Lot depth	20.5m
Front set-back	2.5m
Rear setback	7m
Approx. FSR	0.46:1

1930`s



Northern Conservation Area
Area N3
Character Assessment Proforma

37 Cole Street

Verandah awning in contrasting material to dwelling

Natural coloured corrugated iron short sheet roof

Painted batten detailing to gable apex

Enclosed verandah

Corbelling detail

Timber picket fence atop the front brick wall

Low rise brick wall in matching brickwork to dwelling





Northern Conservation Area
Area N3
Character Assessment Proforma

35 Cole Street

**Post
War**



Lot size/ area	382 m2
Frontage width	18.5m
Lot depth	18.5m
Front set-back	2m
Rear setback	5.5m
Approx. FSR	0.52:1





Northern Conservation Area
Area N3
Character Assessment Proforma

35 Cole Street

A large, empty rectangular box with a blue border, intended for the character assessment proforma.



Northern Conservation Area
Area N3
Character Assessment Proforma

33 Cole Street
Heritage Item

Federation



An Edwardian Villa– c.1900

Lot size/ area	496 m2
Frontage width	19m
Lot depth	19m
Front set-back	2.8m
Rear setback	17.5m
Approx. FSR	0.41:1



Northern Conservation Area
Area N3
Character Assessment Proforma

33 Cole Street
Heritage Item

Mono-pitched window awning with shingle tiles and timber side brackets

Roughcast render gable finish

Green painted corrugated iron sheet roof

Timber frieze

Common red facing brick facade

3 casement timber window with coloured glass detail and transom lights

Painted rendered brick window sill

Low rise red brick wall with bullnose coping stones

Timber front door and frame with side lights and transom light above

Brick piers with timber posts supporting verandah awning.

Wrap-around verandah





Northern Conservation Area
Area N3
Character Assessment Proforma

31 Cole Street
Contributory Item

Inter
war



Californian bungalow style frontage on an earlier cottage.

Lot size/ area	522 m2
Frontage width	15m
Lot depth	15m
Front set-back	2.1m
Rear setback	16.5m
Approx. FSR	0.49:1



Northern Conservation Area
Area N3
Character Assessment Proforma

31 Cole Street
Contributory Item



Painted red
corrugated
iron sheet
roof

White weatherboarded
facade

Batten detailing

Three case-
ment timber box
window

Deep shaded
verandah

White palisade metal
front fence

Masonry piers with double
timber columns supporting
verandah awning



Northern Conservation Area
Area N3
Character Assessment Proforma

27 Cole Street
Contributory Item

Victorian



A simple late 19th century double fronted workers cottage

Lot size/ area	360 m2
Frontage width	10.7m
Lot depth	10.7m
Front set-back	0.25m
Rear setback	15.5m
Approx. FSR	0.68:1



Northern Conservation Area
Area N3
Character Assessment Proforma

27 Cole Street
Contributory Item

Modern slotted gutter

Simple symmetrical front facade

Natural coloured corrugated iron sheet roof

Cream rendered front facade

Metal shutters

Concrete 'faux' stone wall to verandah frontage



Wire mesh fence and gate

Simple timber posts supporting verandah awning



Northern Conservation Area
Area N3
Character Assessment Proforma

25 Cole Street
Contributory Item

Federation



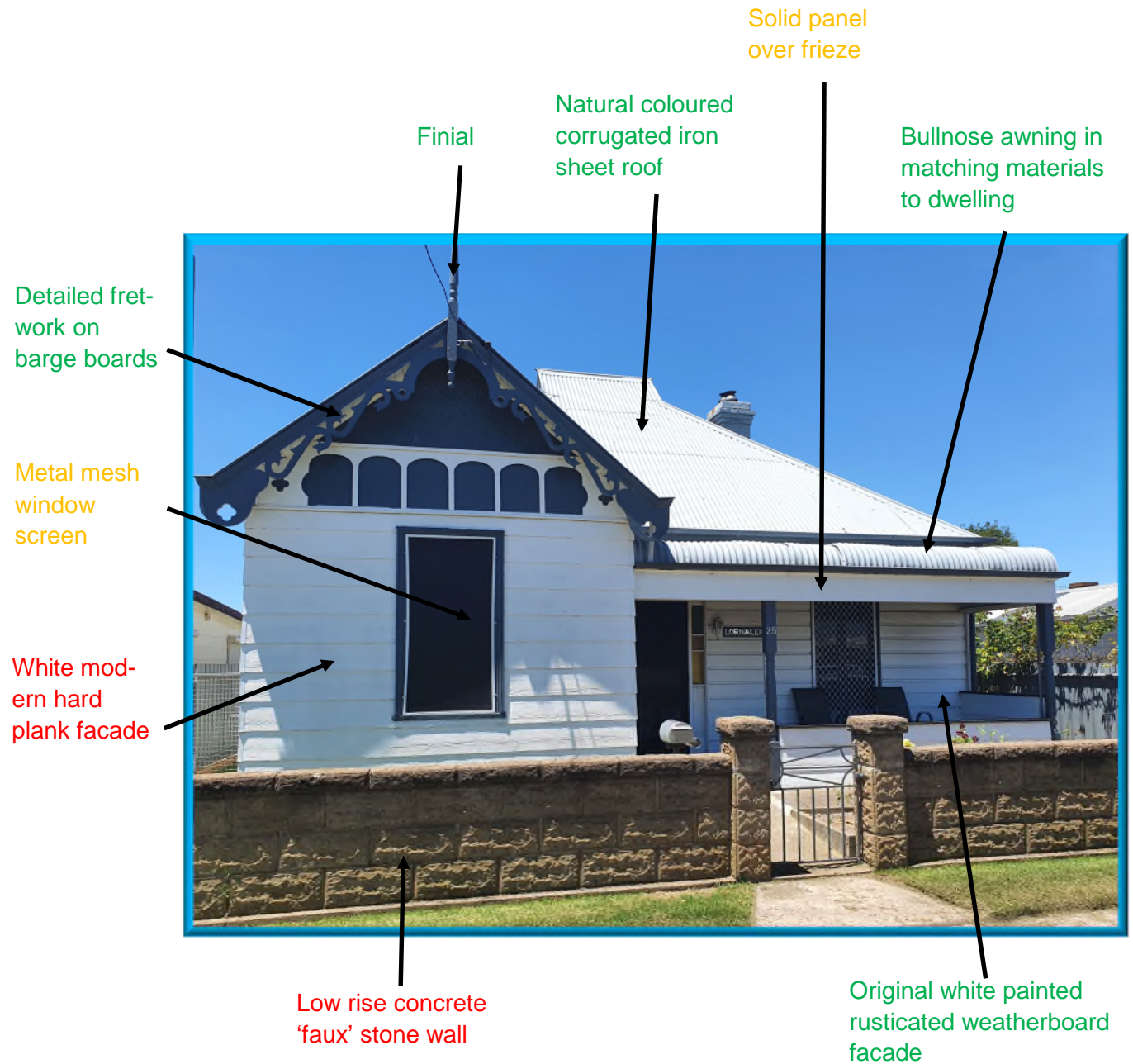
Lot size/ area	412 m2
Frontage width	12.2m
Lot depth	12.2m
Front set-back	1.5m
Rear setback	17m
Approx. FSR	0.54:1

Federation dwelling.



Northern Conservation Area
Area N3
Character Assessment Proforma

25 Cole Street
Contributory Item





Northern Conservation Area
Area N3
Character Assessment Proforma

78 Grafton Street
Heritage Item

Federation



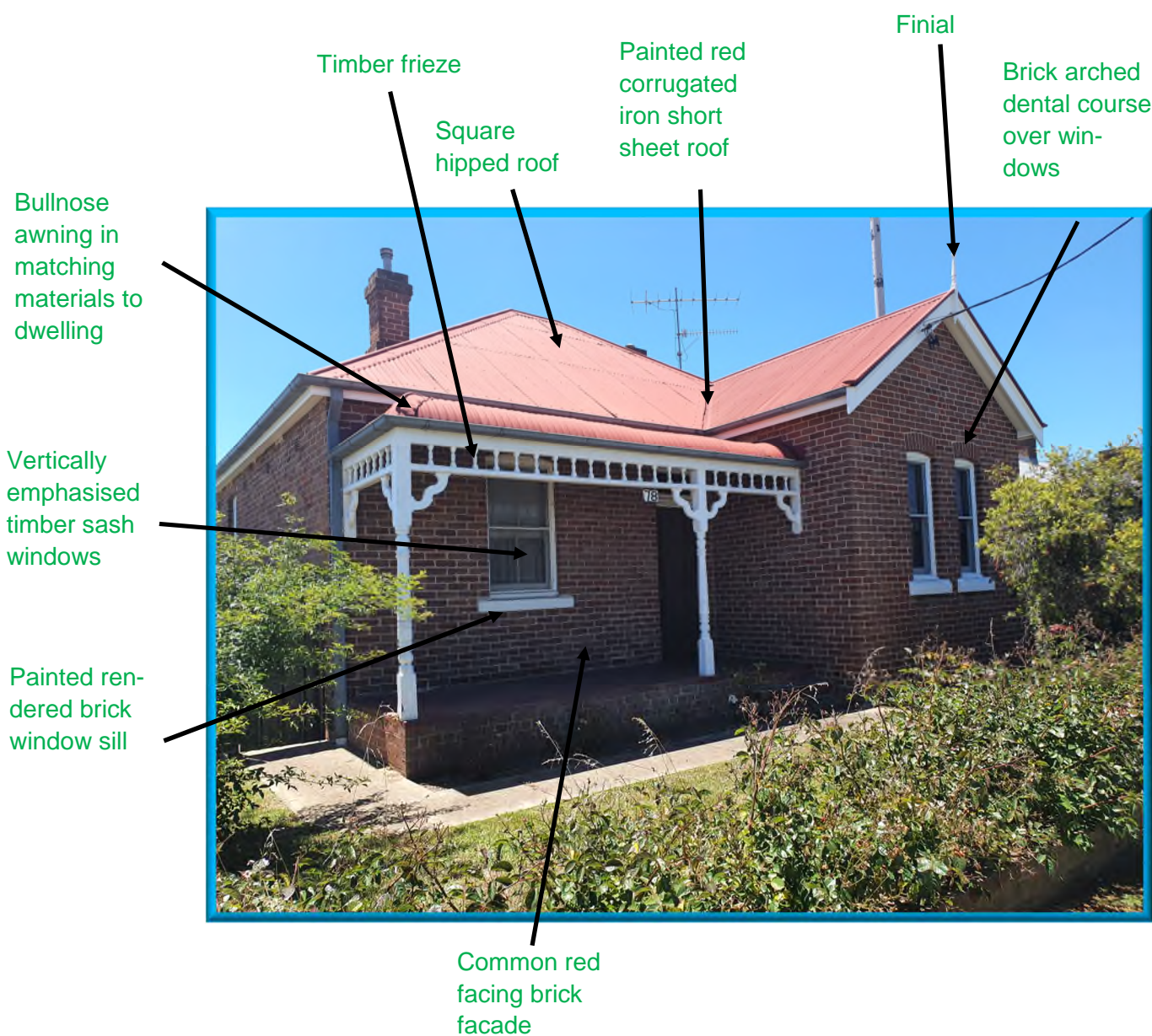
Lot size/ area	381 m2
Frontage width	12.8m
Lot depth	30.6m
Front set-back	3.85m
Rear setback	10.5m
Approx. FSR	0.55:1

Red brick and iron Federation style single storey cottage which complements the streetscape and is of local heritage significance. Lacks some of the detail of the other dwellings in the street.



Northern Conservation Area
Area N3
Character Assessment Proforma

78 Grafton Street
Heritage Item





Northern Conservation Area
Area N3
Character Assessment Proforma

80, 82 & 84 Grafton Street
Heritage Item



Lot size/ area	284 m2 each
Frontage width	9.75m
Lot depth	30.6m
Front set-back	4.35m
Rear setback	
80	13.6m
82	15m
84	12.75m
Approx. FSR	
80	0.39:1
82	0.38:1
84	0.49:1

Three matching timber terraces with some lacework detailing. They are relatively intact and have local heritage significance.

The grouping has rear lane access.

Their significance lies in their relative intactness and their relationship to each other and the streetscape.



Northern Conservation Area
Area N3
Character Assessment Proforma

80, 82 & 84 Grafton Street
Heritage Item



Detailed iron lacework

Detailed iron posts supporting verandah awning

Natural coloured corrugated iron sheet roof



Multi-panelled timber front door with side lights and transom light above

Inset front gate to white painted timber picket fence with tulip tips



Vertically emphasised timber sash windows with arched detailing

Weatherboarded façade



Northern Conservation Area
Area N3
Character Assessment Proforma

86 Grafton Street
Heritage Item



Lot size/ area	432 m2
Frontage width	10m
Lot depth	41.5m
Front set-back	4.2m
Rear setback	18.8m
Approx. FSR	0.62:1

Brick and iron single storey cottage.

There are extensions and outbuildings to the rear. This property has local heritage significance.



Northern Conservation Area
Area N3
Character Assessment Proforma

86 Grafton Street
Heritage Item

Continuous roof plane forms verandah awning

Vertically emphasised timber sash windows

Painted rendered brick window sills

Transom light above front door

Natural coloured corrugated iron sheet roof

Arched brick recess detailing



Double timber posts supporting verandah awning

Iron railing front fence with detailed tips with stone pillars



Northern Conservation Area
Area N3
Character Assessment Proforma

88 Grafton Street



Lot size/ area	432m ²
Frontage width	10m
Lot depth	41.5m
Front set-back	6.4m
Rear setback	23m
Approx. FSR	0.25:1

A late 19th Century workers cottage



Northern Conservation Area
Area N3
Character Assessment Proforma

88 Grafton Street

Verandah awning in matching materials to dwelling

Natural coloured corrugated iron sheet roof



Large horizontally emphasised aluminium windows

White painted timber picket fence

White painted timber weatherboarded facade



Northern Conservation Area
Area N3
Character Assessment Proforma

90 Grafton Street
Heritage Item



Lot size/ area	341 m2
Frontage width	7.55m
Lot depth	44m
Front set-back	2.1m
Rear setback	24.75m
Approx. FSR	0.37:1



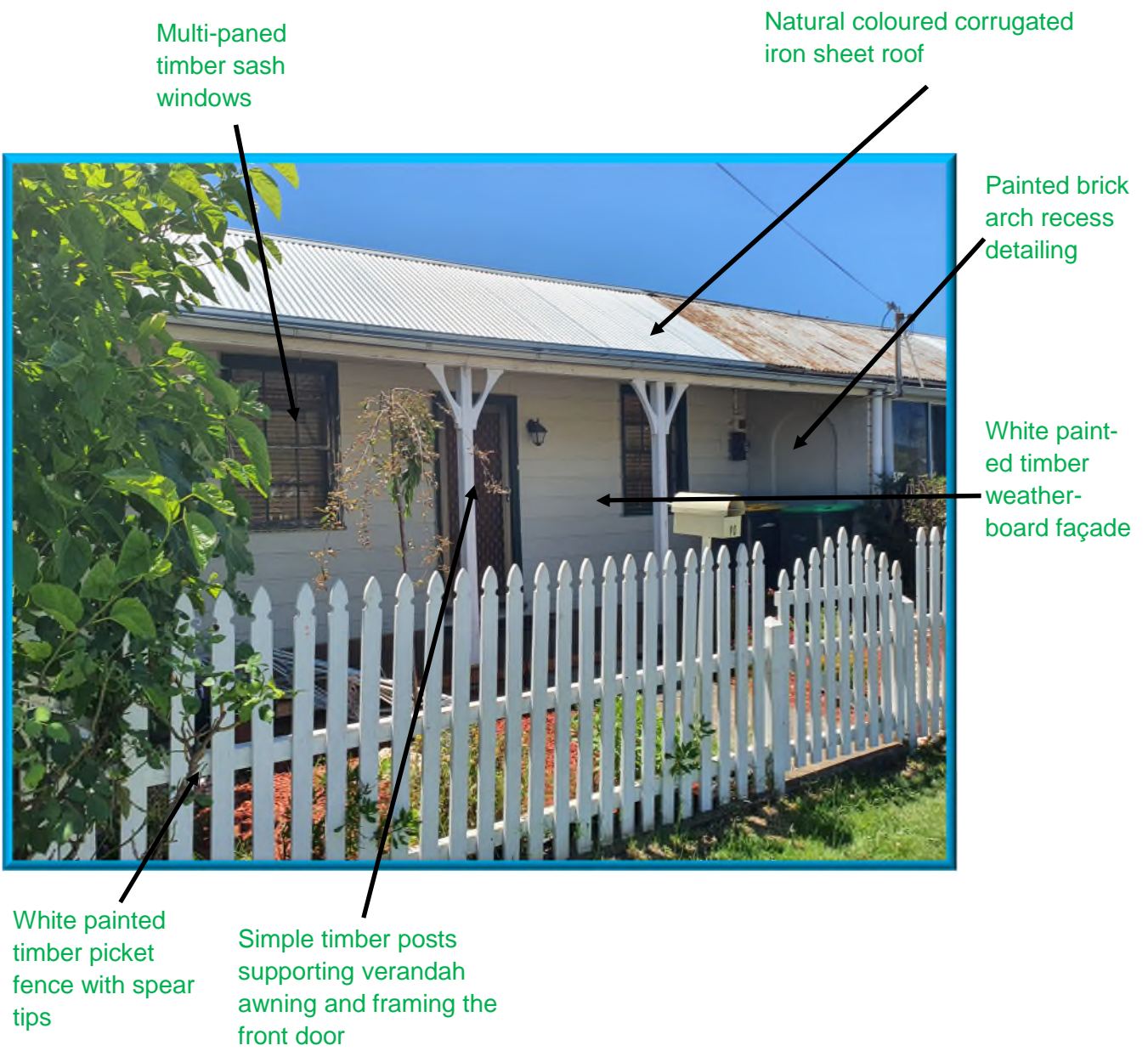
This property forms part of a similar grouping of properties alongside 92, 94 and 96 Grafton Street. They are timber and iron attached single storey cottages which have local significance for their contribution to the Grafton Street streetscape.

All of the properties need restoration works however even with the properties detracting elements, they add to the streetscape of Grafton Street. They are simple attached residential dwellings reflective of their time of construction.



Northern Conservation Area
Area N3
Character Assessment Proforma

90 Grafton Street
Heritage Item





Northern Conservation Area
Area N3
Character Assessment Proforma

92 Grafton Street
Heritage Item



Lot size/ area	335 m2
Frontage width	7.40m
Lot depth	44m
Front setback	2.1m
Rear setback	28.5m
Approx. FSR	0.29:1



This property forms part of a similar grouping of properties alongside 90, 94 and 96 Grafton Street. They are timber and iron attached single storey cottages which have local significance for their contribution to the Grafton Street streetscape.

All of the properties need restoration works however even with the properties detracting elements, they add to the streetscape of Grafton Street. They are simple attached residential dwellings reflective of their time of construction.

This property has unfortunately had its verandah enclosed and a different front fence installed from detracts from the streetscape appeal.



Northern Conservation Area
Area N3
Character Assessment Proforma

92 Grafton Street
Heritage Item

Large horizontally emphasised aluminium windows

Natural coloured corrugated iron sheet roof

Enclosed verandah



Wire mesh fencing and gate



Northern Conservation Area
Area N3
Character Assessment Proforma

94 Grafton Street
Heritage Item



Lot size/ area	316 m2
Frontage width	7.40m
Lot depth	44m
Front set-back	2.1m
Rear setback	24.5m
Approx. FSR	0.47:1

This property forms part of a similar grouping of properties alongside 90, 92, and 96 Grafton Street. They are timber and iron attached single storey cottages which have local significance for their contribution to the Grafton Street streetscape.

All of the properties need restoration works however even with the properties detracting elements, they add to the streetscape of Grafton Street. They are simple attached residential dwellings reflective of their time of construction.





Northern Conservation Area
Area N3
Character Assessment Proforma

94 Grafton Street
Heritage Item

Natural coloured corrugated iron sheet roof

Painted brick arch recess detailing

Painted timber weatherboard façade

Multi-paned timber sash windows



Decorative iron posts supporting verandah awning and framing front door

White painted timber picket fence



Northern Conservation Area
Area N3
Character Assessment Proforma

96 Grafton Street
Heritage Item



Lot size/ area	328 m2
Frontage width	7.65m
Lot depth	44m
Front set-back	2.1m
Rear setback	31.5m
Approx. FSR	0.28:1

This property forms part of a similar grouping of properties alongside 90, 92 and 94 Grafton Street. They are timber and iron attached single storey cottages which have local significance for their contribution to the Grafton Street streetscape.

All of the properties need restoration works however even with the properties detracting elements, they add to the streetscape of Grafton Street. They are simple attached residential dwellings reflective of their time of construction.





Northern Conservation Area
Area N3
Character Assessment Proforma

96 Grafton Street
Heritage Item

Natural coloured corrugated iron sheet roof

Painted brick arch recess detailing

Dark blue painted timber weather-board façade

Multi-paned double hung timber windows



Simple timber posts supporting verandah awning and framing the front door

White painted timber picket fence



Northern Conservation Area
Area N3
Character Assessment Proforma

98 Grafton Street

Inter
war



Lot size/ area	543.8 m2
Frontage width	12.35m
Lot depth	44m
Front set-back	4.5m
Rear setback	24.5m
Approx. FSR	0.34:1

A 1920's cottage



Northern Conservation Area
Area N3
Character Assessment Proforma

98 Grafton Street

Painted timber batten detailing on gable apex

Blue colourbond sheet roof

Vertically emphasised double hung window

Grey painted timber weather-board facade

Horizontally emphasised balustrade



Aluminium window

Iron work railings between rendered brick piers



**Northern Conservation Area
Area N3
Character Assessment Proforma**

100 Grafton Street

**Inter
war**



Lot size/ area	543.8 m2
Frontage width	12.4m
Lot depth	44m
Front set-back	4.5m
Rear setback	21.55m
Approx. FSR	0.43:1

A 1920's cottage.



Northern Conservation Area
Area N3
Character Assessment Proforma

100 Grafton Street

Mono-pitched window awning with timber side brackets

Painted batten detailing to gable apex

Timber lattice vent on gable apex

Flat roof verandah awning

Vertically emphasised timber sash windows

White painted timber weather-board facade



Wood and wire mesh fence



**Northern Conservation Area
Area N3
Character Assessment Proforma**

104 Grafton Street

Inter
war



Lot size/ area	783.4 m2
Frontage width	19.15m
Lot depth	43.9m
Front set-back	0m
Rear setback	30m
Approx. FSR	0.11:1

Circa. 1920`s with the possibility that the property has a 1920`s façade on an older building. The building presents an interesting pair of semi-detached dwellings.



Northern Conservation Area
Area N3
Character Assessment Proforma

104 Grafton Street

Board and batten cladding

Timber bracket detailing

Natural coloured corrugated iron sheet roof

Deep shaded verandah

Dark red painted facing brickwork



Masonry piers with double timber columns supporting the verandah awning.

Painted stone lintels above windows and doors

Vertically emphasised timber sash windows in pairs



Northern Conservation Area
Area N3
Character Assessment Proforma

108 Grafton Street
Contributory Item



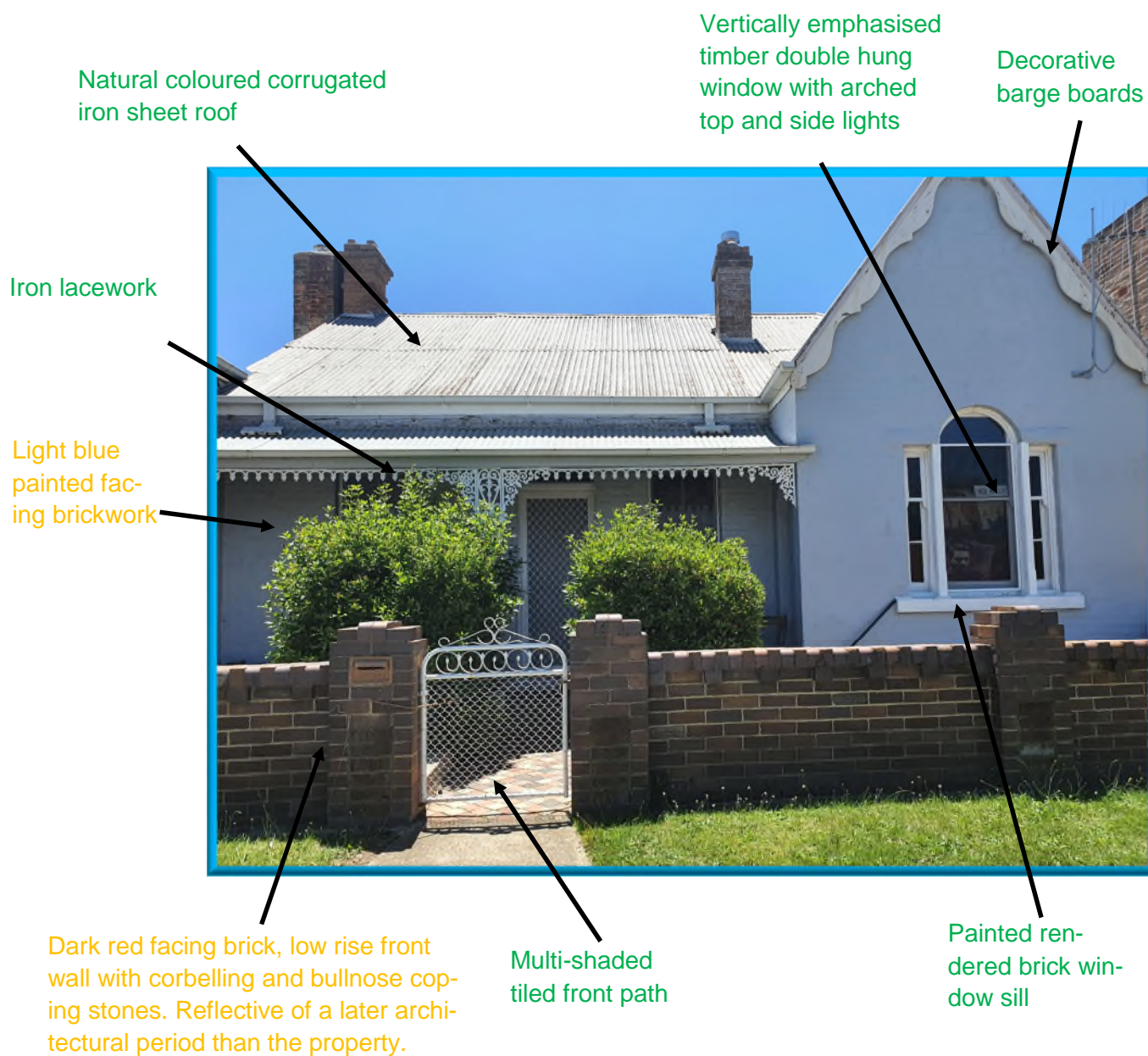
Lot size/ area	400m
Frontage width	12.5m
Lot depth	32m
Front set-back	2.95m
Rear setback	12.25m
Approx. FSR	0.36:1

Victorian Gothic Villa



Northern Conservation Area
Area N3
Character Assessment Proforma

108 Grafton Street
Contributory Item





Northern Conservation Area
Area N3
Character Assessment Proforma

110 Grafton Street



Lot size/ area	395 m2
Frontage width	12.65m
Lot depth	32m
Front set-back	0m
Rear setback	18m
Approx. FSR	0.55:1

This property is a residual two storey inn which has been significantly modified, particularly the façade.

The side of the property has an original sign for Bushell's tea.



Northern Conservation Area
Area N3
Character Assessment Proforma

110 Grafton Street





Northern Conservation Area
Area N3
Character Assessment Proforma

116 Grafton Street

Inter
war



Lot size/ area	394.6 m2
Frontage width	16.4m
Lot depth	25.25m
Front set-back	3.25m
Rear setback	9.65m
Approx. FSR	0.44:1

Prominent portico entrance. Eclectic in its styling. Unique to Goulburn



Northern Conservation Area
Area N3
Character Assessment Proforma

116 Grafton Street

Horizontally emphasised aluminium sash windows

Common red facing brick facade

Glass block and brick curved wall

Parapet wall



Brick window sills

French doors

Ornate stone portico

Painted stone columns forming front wall

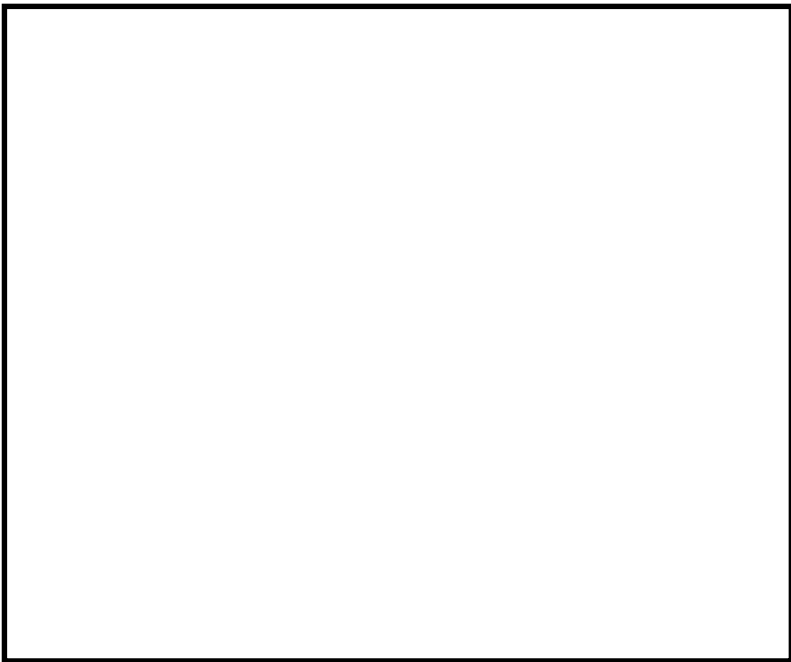
Matching garage to dwelling



Northern Conservation Area
Area N3
Character Assessment Proforma

2 Cove Street

1960's to
1990's

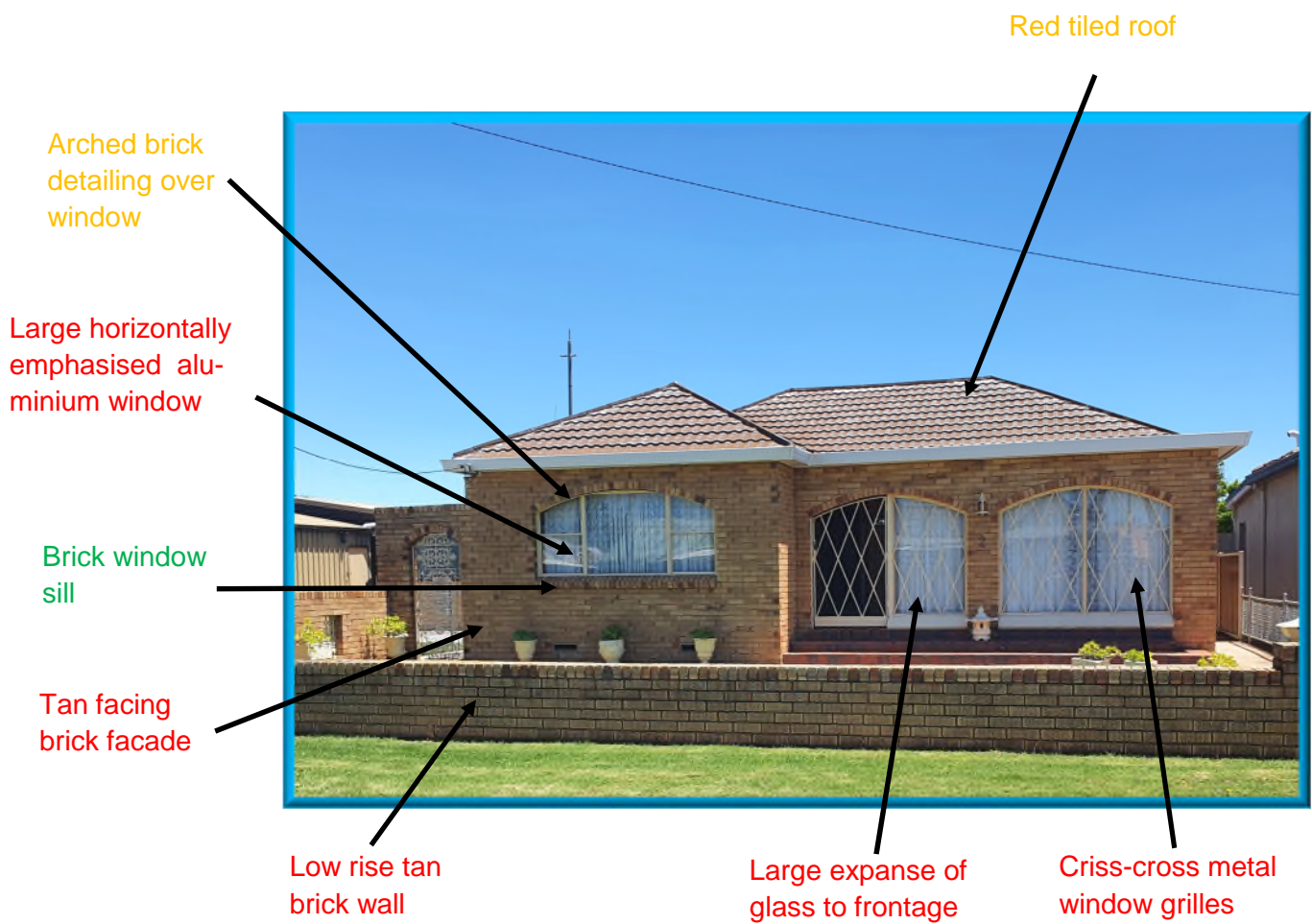


Lot size/ area	968 m2
Frontage width	27m
Lot depth	44.2m
Front set-back	7.5m
Rear setback	20.5m
Approx. FSR	0.41:1



Northern Conservation Area
Area N3
Character Assessment Proforma

2 Cove Street





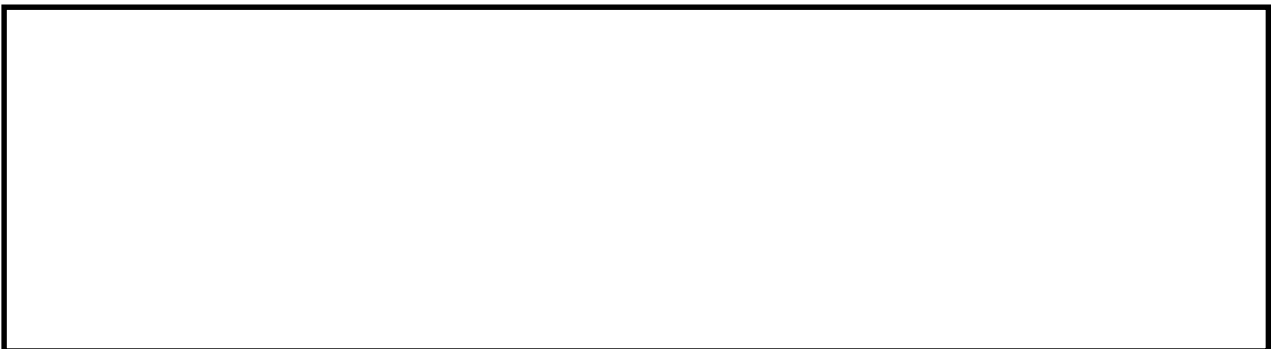
Northern Conservation Area
Area N3
Character Assessment Proforma

4 Cove Street

Inter
war



Lot size/ area	360 m2
Frontage width	13.7m
Lot depth	26m
Front set-back	6.75m
Rear setback	3.75m
Approx. FSR	0.49:1





Northern Conservation Area
Area N3
Character Assessment Proforma

4 Cove Street

Red tiled roof



Grey painted facing brickwork

Partly enclosed verandah

Large expanse of glass within aluminium window frames— horizontally emphasised

Painted brick window sill



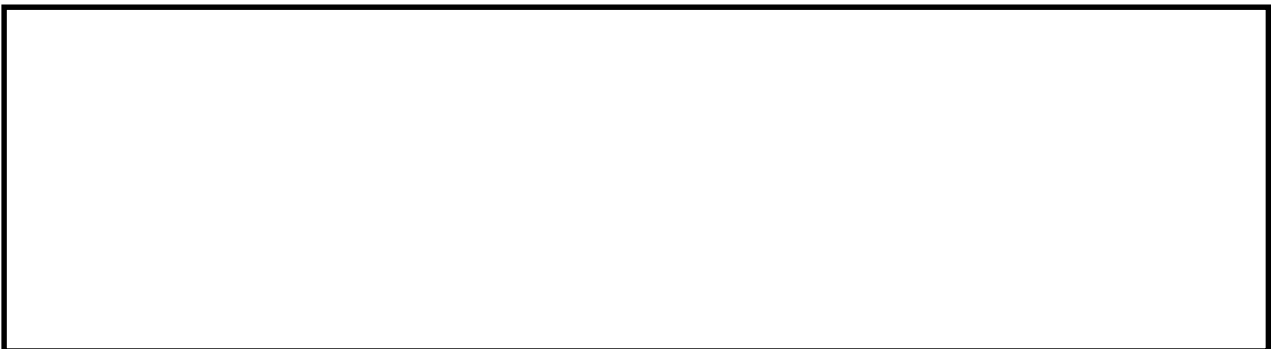
Northern Conservation Area
Area N3
Character Assessment Proforma

6 Cove Street

1960's to
1990's



Lot size/ area	626 m2
Frontage width	14m
Lot depth	25.15m
Front set-back	4.5m
Rear setback	9m
Approx. FSR	0.19:1





Northern Conservation Area
Area N3
Character Assessment Proforma

6 Cove Street

Tan coloured facing brick facade



Red tiled roof

Large horizontally emphasised aluminium windows

Dominance of garage on streetscape

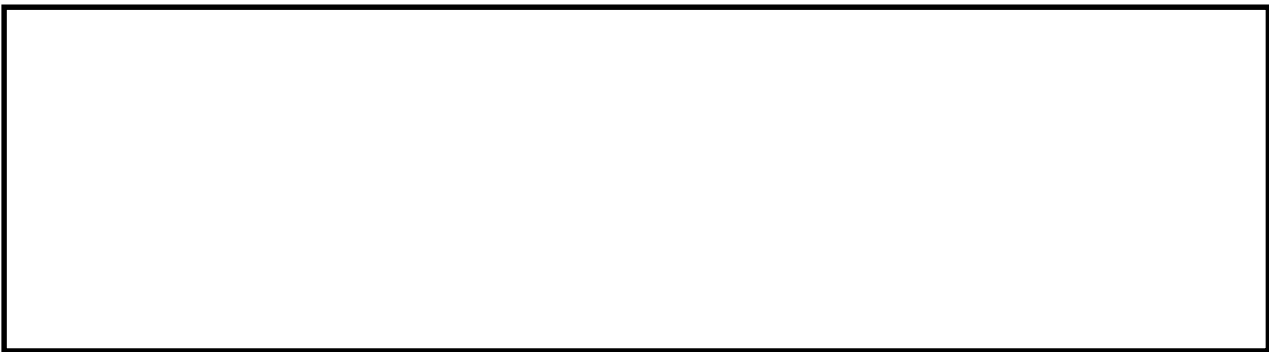


Northern Conservation Area
Area N3
Character Assessment Proforma

8 Cove Street



Lot size/ area	663 m2
Frontage width	26.5m
Lot depth	26.5m
Front set-back	8.8m
Rear setback	3m
Approx. FSR	0.31:1





Northern Conservation Area
Area N3
Character Assessment Proforma

8 Cove Street



Overly dominant double garage

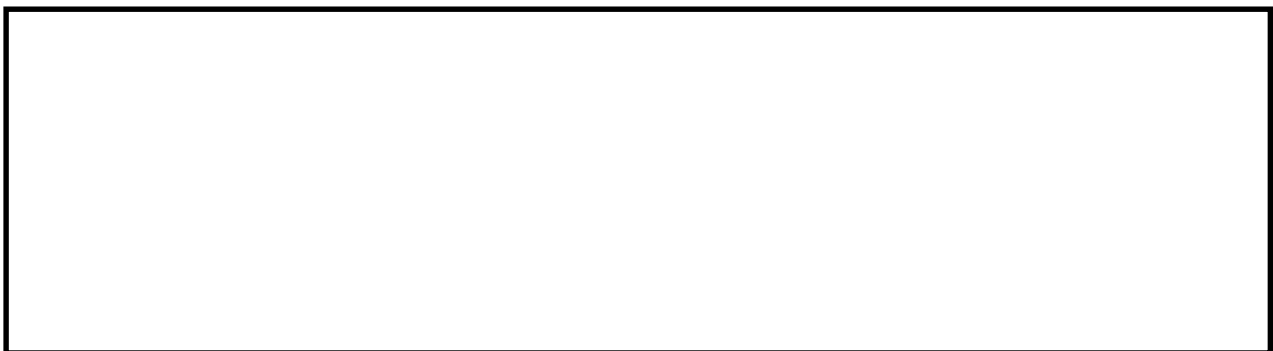
Metal pole and loop fence



Northern Conservation Area
Area N3
Character Assessment Proforma

10 Cove Street

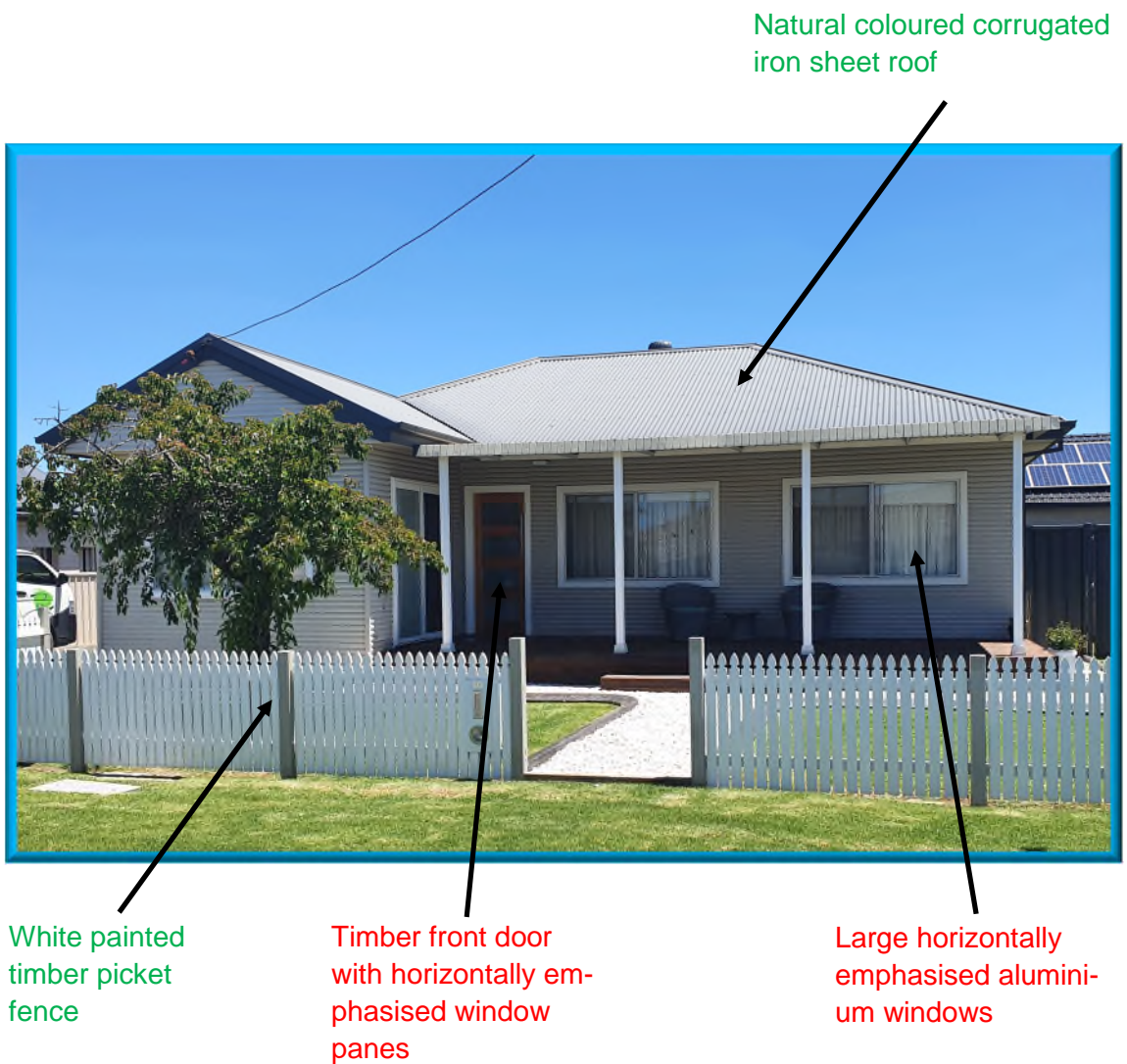
Lot size/ area	537 m2
Frontage width	22m
Lot depth	25.15m
Front setback	5.5m
Rear setback	9m
Approx. FSR	0.31:1





Northern Conservation Area
Area N3
Character Assessment Proforma

10 Cove Street





Northern Conservation Area
Area N3
Character Assessment Proforma

12 Cove Street

**Post
War**



Lot size/ area	543 m2
Frontage width	22m
Lot depth	25.15m
Front set-back	4.3m
Rear setback	7.5m
Approx. FSR	0.39:1

A 1940's/1950's cottage



Northern Conservation Area
Area N3
Character Assessment Proforma

12 Cove Street

Grey tiled roof



Timber front door
with horizontally em-
phasised window
panes

Large horizontally
emphasised alumini-
um windows



Northern Conservation Area
Area N3
Character Assessment Proforma

1 Marsden Street

Inter
war



Lot size/ area	461 m ²
Frontage width	10.8m
Lot depth	43.4m
Front set-back	6m
Rear setback	21.2m
Approx. FSR	0.43:1

1930`s/1940`s property



Northern Conservation Area
Area N3
Character Assessment Proforma

1 Marsden Street

Red tiled roof

Double casement
double hung timber
windows

Masonry columns
with double timber
posts

Deep shaded
verandah



Low rise red
brick wall
with corbel-
ling detail



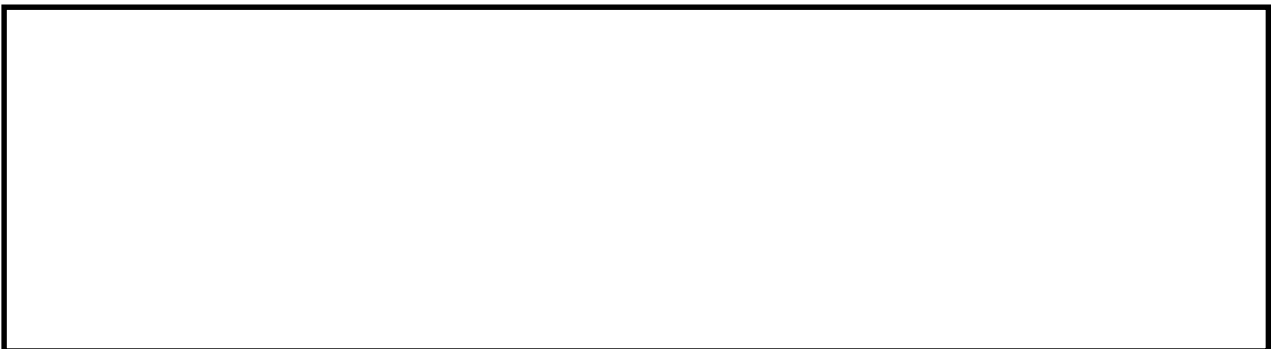
Northern Conservation Area
Area N3
Character Assessment Proforma

3 Marsden Street

**Post
War**



Lot size/ area	461 m2
Frontage width	10.8m
Lot depth	43.4m
Front set-back	5.3m
Rear setback	23m
Approx. FSR	0.36:1





Northern Conservation Area
Area N3
Character Assessment Proforma

3 Marsden Street

Painted shingle detailing on gable apex

Red painted corrugated iron short sheet roof

Cream painted timber weather-board façade

Flat roof window awning with timber side brackets



Deep shaded verandah

Low rise red brick front wall with bullnose coping stones



Northern Conservation Area
Area N3
Character Assessment Proforma

4 Marsden Street

**Post
War**



Lot size/ area	461.6 m2
Frontage width	10.15m
Lot depth	45.40m
Front set-back	3.15m
Rear setback	26.6m
Approx. FSR	0.29:1





Northern Conservation Area
Area N3
Character Assessment Proforma

4 Marsden Street

White painted timber weatherboard facade

Enclosed verandah



Brick pavers for front path

Aluminium windows

Wire mesh fence



Northern Conservation Area
Area N3
Character Assessment Proforma

5 Marsden Street

Inter
war



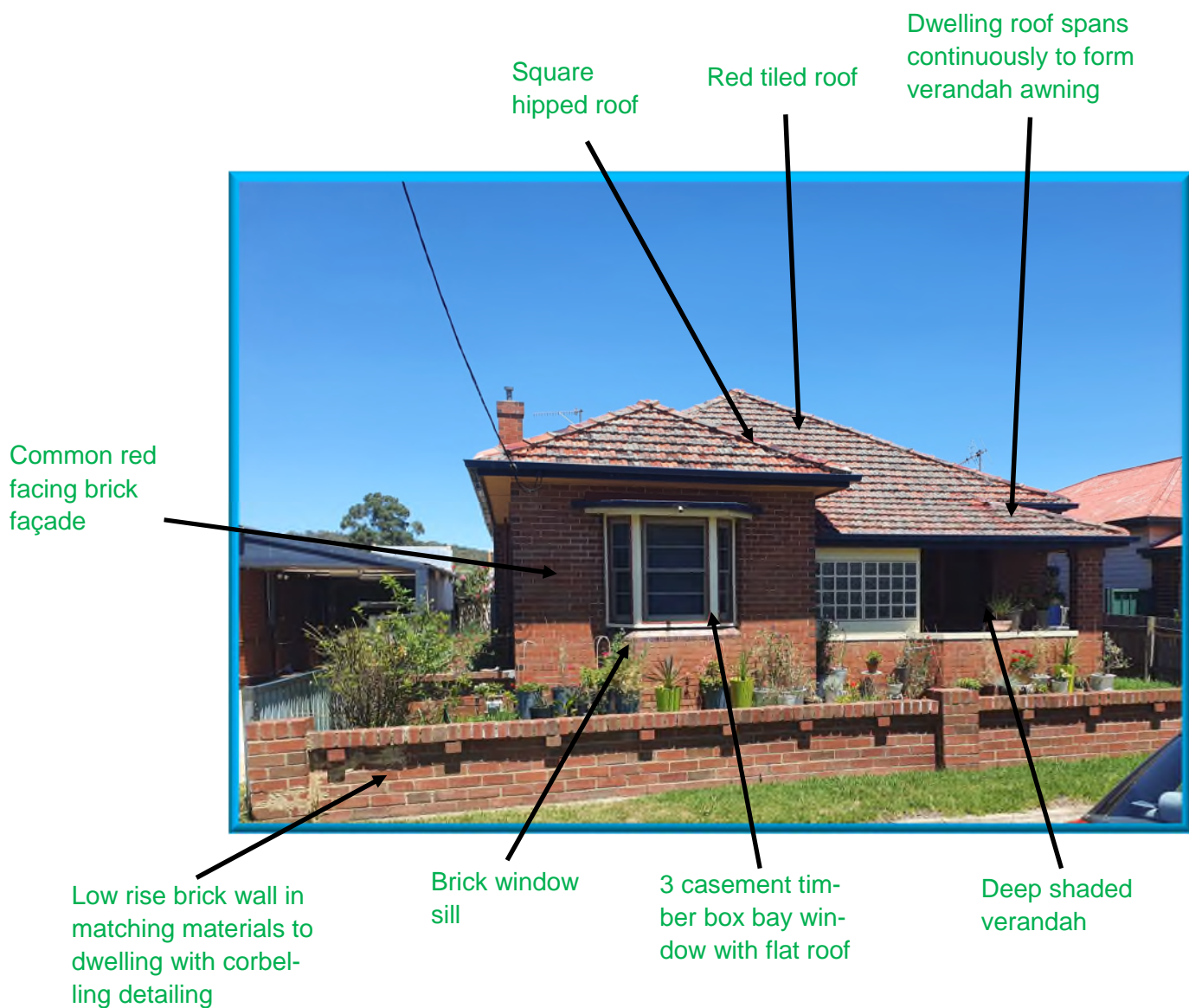
Lot size/ area	528 m2
Frontage width	12.2m
Lot depth	43.25m
Front set-back	4.3m
Rear setback	19m
Approx. FSR	0.40:1

1930`s/1940`s Cottage



Northern Conservation Area
Area N3
Character Assessment Proforma

5 Marsden Street



Square hipped roof

Red tiled roof

Dwelling roof spans continuously to form verandah awning

Common red facing brick façade

Low rise brick wall in matching materials to dwelling with corbeling detailing

Brick window sill

3 casement timber box bay window with flat roof

Deep shaded verandah



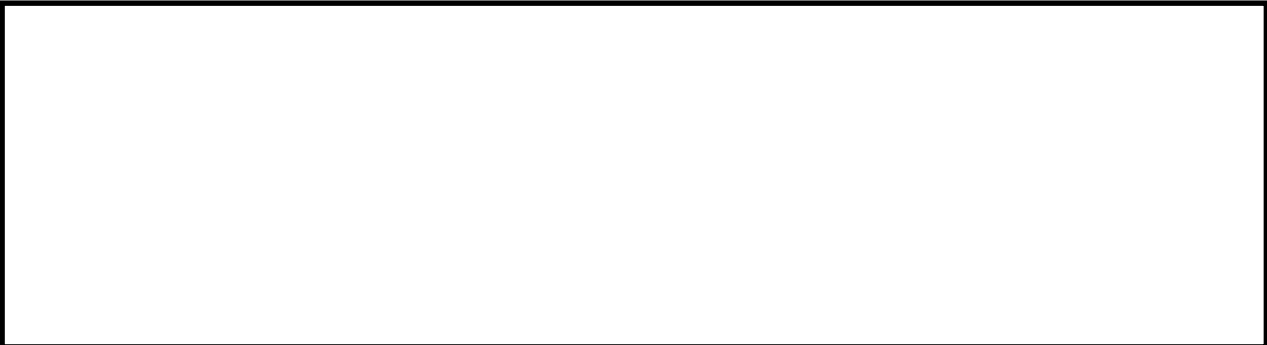
Northern Conservation Area
Area N3
Character Assessment Proforma

6 Marsden Street

**Post
War**



Lot size/ area	473 m2
Frontage width	10.35m
Lot depth	45.4 m
Front setback	3.90m
Rear setback	18.9m
Approx. FSR	0.46:1





Northern Conservation Area
Area N3
Character Assessment Proforma

6 Marsden Street

Cream weatherboard facade

Horizontally emphasised aluminium windows

Timber window shutters



Wire mesh fence



Northern Conservation Area
Area N3
Character Assessment Proforma

7 Marsden Street



Lot size/ area	588 m2
Frontage width	13.6m
Lot depth	44m
Front set-back	2.8m
Rear setback	24m
Approx. FSR	0.48:1

A late 19th Century workers cottage



Northern Conservation Area
Area N3
Character Assessment Proforma

7 Marsden Street



Black painted
render and
brick low rise
front wall

Masonry piers with
double timber col-
umns supporting
verandah awning



Northern Conservation Area
Area N3
Character Assessment Proforma

8 Marsden Street

Post
2000's



Lot size/ area	961.1 m2
Frontage width	20.55m
Lot depth	47.5m
Front set-back	3.80m
Rear setback	14.5m
Approx. FSR	

A potentially Edwardian Villa with substantial alterations.



Northern Conservation Area
Area N3
Character Assessment Proforma

8 Marsden Street





Northern Conservation Area
Area N3
Character Assessment Proforma

9 Marsden Street



Lot size/ area	602 m2
Frontage width	13.75m
Lot depth	44m
Front set-back	2.8m
Rear setback	23.5m
Approx. FSR	0.41:1

Older cottage which has been embellished.
 A late 19th Century double fronted cottage with modern 'Arts and Crafts' details added.



**Northern Conservation Area
Area N3
Character Assessment Proforma**

9 Marsden Street

Vertically emphasised, split paned windows

White painted corrugated metal sheet roof



Timber portico

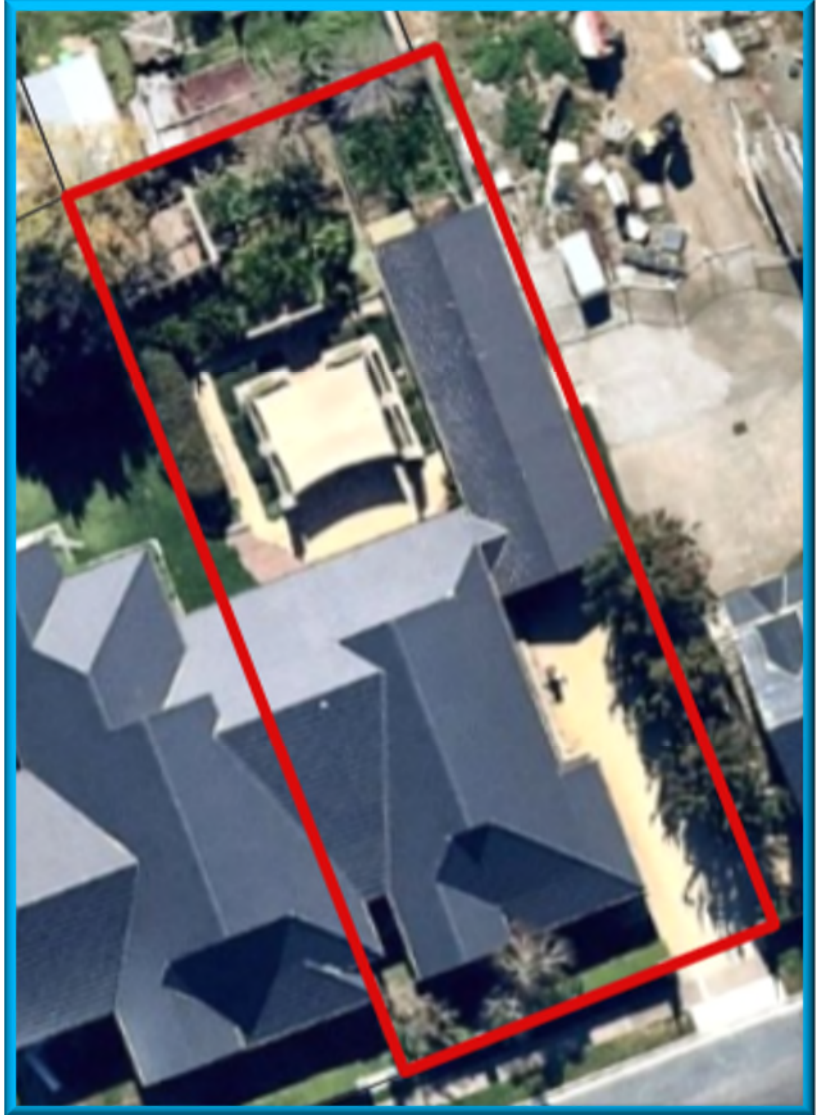
Brick pavers forming direct path from Pavement to front door



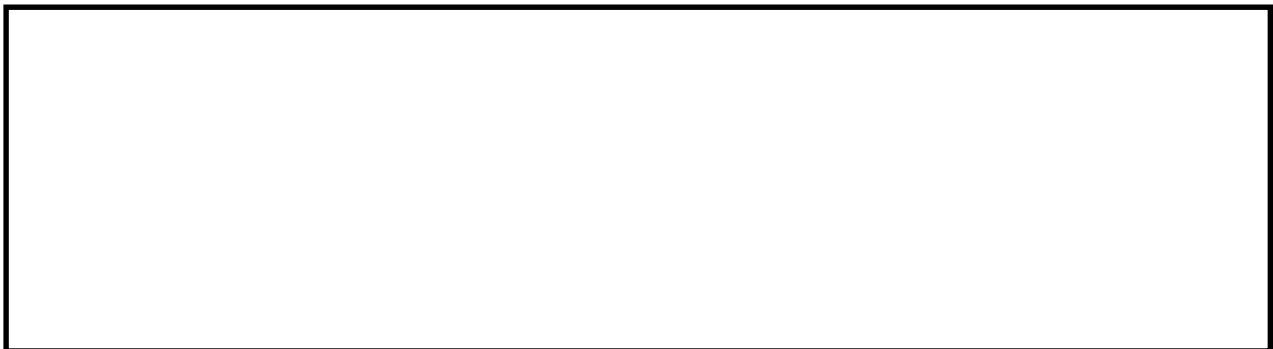
Northern Conservation Area
Area N3
Character Assessment Proforma

10 Marsden Street

Post
2000's



Lot size/ area	948.5 m2
Frontage width	20.15m
Lot depth	47.5m
Front set-back	3.80m
Rear setback	22.2m
Approx. FSR	0.44:1





Northern Conservation Area
Area N3
Character Assessment Proforma

10 Marsden Street





Northern Conservation Area
Area N3
Character Assessment Proforma

11 Marsden Street

Lot size/ area	627 m2
Frontage width	13.6m
Lot depth	44m
Front set-back	2.5m
Rear setback	19.5m
Approx. FSR	0.55:1





Northern Conservation Area
Area N3
Character Assessment Proforma

11 Marsden Street

Brown tiled roof

Solar panels of street facing roof plane

Green painted weatherboard facade



No direct path from pavement to front door



Northern Conservation Area
Area N3
Character Assessment Proforma

61A Lagoon Street

Inter
war



Lot size/ area	607 m2
Frontage width	20m
Lot depth	30.4m
Front set-back	3.75m
Rear setback	9m
Approx. FSR	0.50:1

Rendered 1920's brick bungalow on a prominent corner



Northern Conservation Area
Area N3
Character Assessment Proforma

61A Lagoon Street

Porch with roof pitch and materials which match dwelling

Timber lattice vent to gable apex

Timber batten detailing on gables

Individually paned vertically emphasised timber sash windows

Deep shaded verandah/ porch



Rendered and painted facade

Painted rendered brick window sill

White painted timber picket fence



Northern Conservation Area
Area N3
Character Assessment Proforma

63 Lagoon Street
Contributory Item



Lot size/ area	986 m2
Frontage width	21m
Lot depth	47.45m
Front set-back	8.5m
Rear setback	21.5
Approx. FSR	0.25:1

Late Victorian double fronted workers cottage



Northern Conservation Area
Area N3
Character Assessment Proforma

63 Lagoon Street
Contributory Item

Bullnose awning to verandah in matching material to dwelling

Iron lacework

Timber front door with side lights and transom light

Short sheet galvanised corrugated iron roof



Painted brick facade

Brick piers with low brick wall with iron railings



Northern Conservation Area
Area N3
Character Assessment Proforma

67 Lagoon Street
Contributory Item

**Post
 War**



Lot size/ area	972 m2
Frontage width	21m
Lot depth	47.45m
Front set-back	7m
Rear setback	24m
Approx. FSR	0.26:1

Typical 1940`/1950`s post war double fronted cottage.
 Property has matching bullnose brick front wall to dwelling



Northern Conservation Area
Area N3
Character Assessment Proforma

67 Lagoon Street
Contributory Item



Red tile roof

Large metal window shutters

Low rise front brick wall with bullnose coping stones and corbelling detailing



Northern Conservation Area
Area N3
Character Assessment Proforma

71 Lagoon Street
Contributory Item

Federation



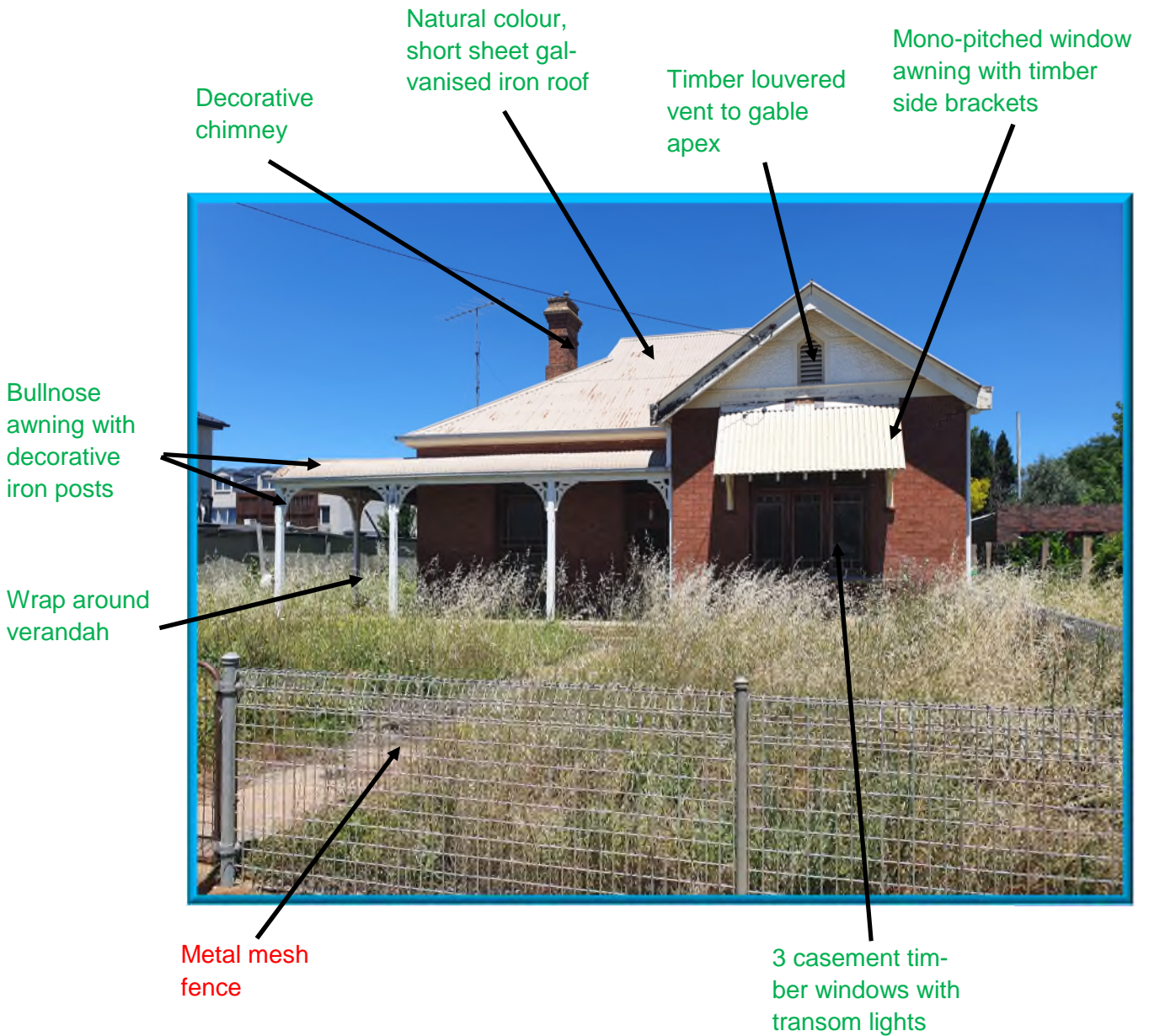
Lot size/ area	853 m2
Frontage width	19m
Lot depth	45.8m
Front set-back	8.5m
Rear setback	18.5m
Approx. FSR	0.26:1

A Classic Edwardian intact cottage



Northern Conservation Area
Area N3
Character Assessment Proforma

71 Lagoon Street
Contributory Item





**Northern Conservation Area
Area N3
Character Assessment Proforma**

75 Lagoon Street.

Post
2000's



Lot size/ area	8240 m2
Frontage width	88m
Lot depth	144m
Front set-back	3m
Rear setback	n/a
Approx. FSR	





Northern Conservation Area
Area N3
Character Assessment Proforma

75 Lagoon Street





Northern Conservation Area
Area N3
Character Assessment Proforma

87 Lagoon Street

Lot size/ area	815 m2
Frontage width	25m
Lot depth	32.45m
Front setback	4.5m
Rear setback	14m
Approx. FSR	0.34:1



Race car dealer



Northern Conservation Area
Area N3
Character Assessment Proforma

87 Lagoon Street

Flat roof

Large expanse of glass



Painted brick facade

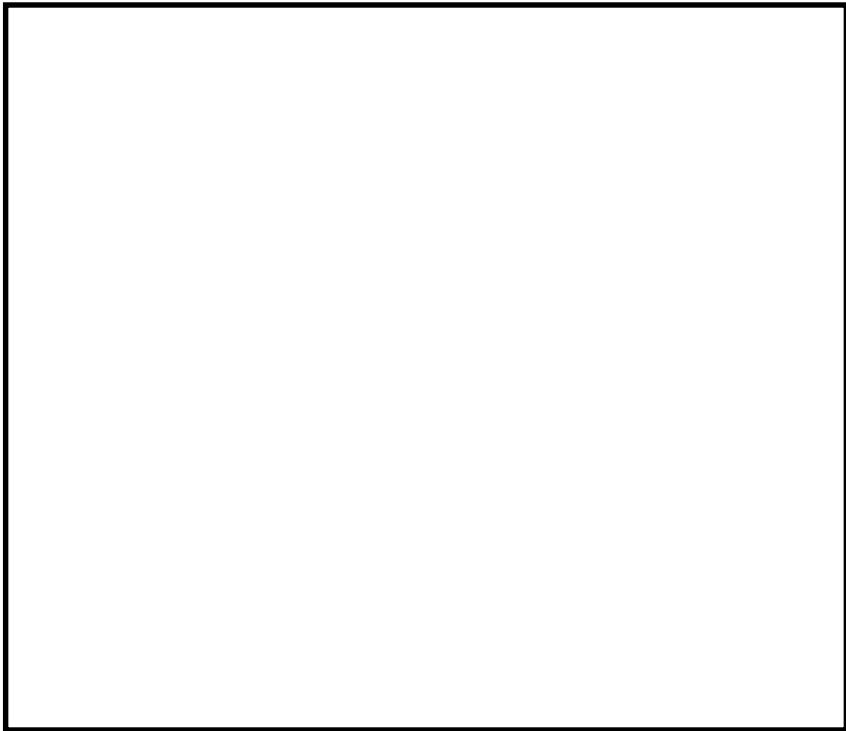




**Northern Conservation Area
Area N3
Character Assessment Proforma**

32 Upper Stern Street

Victorian

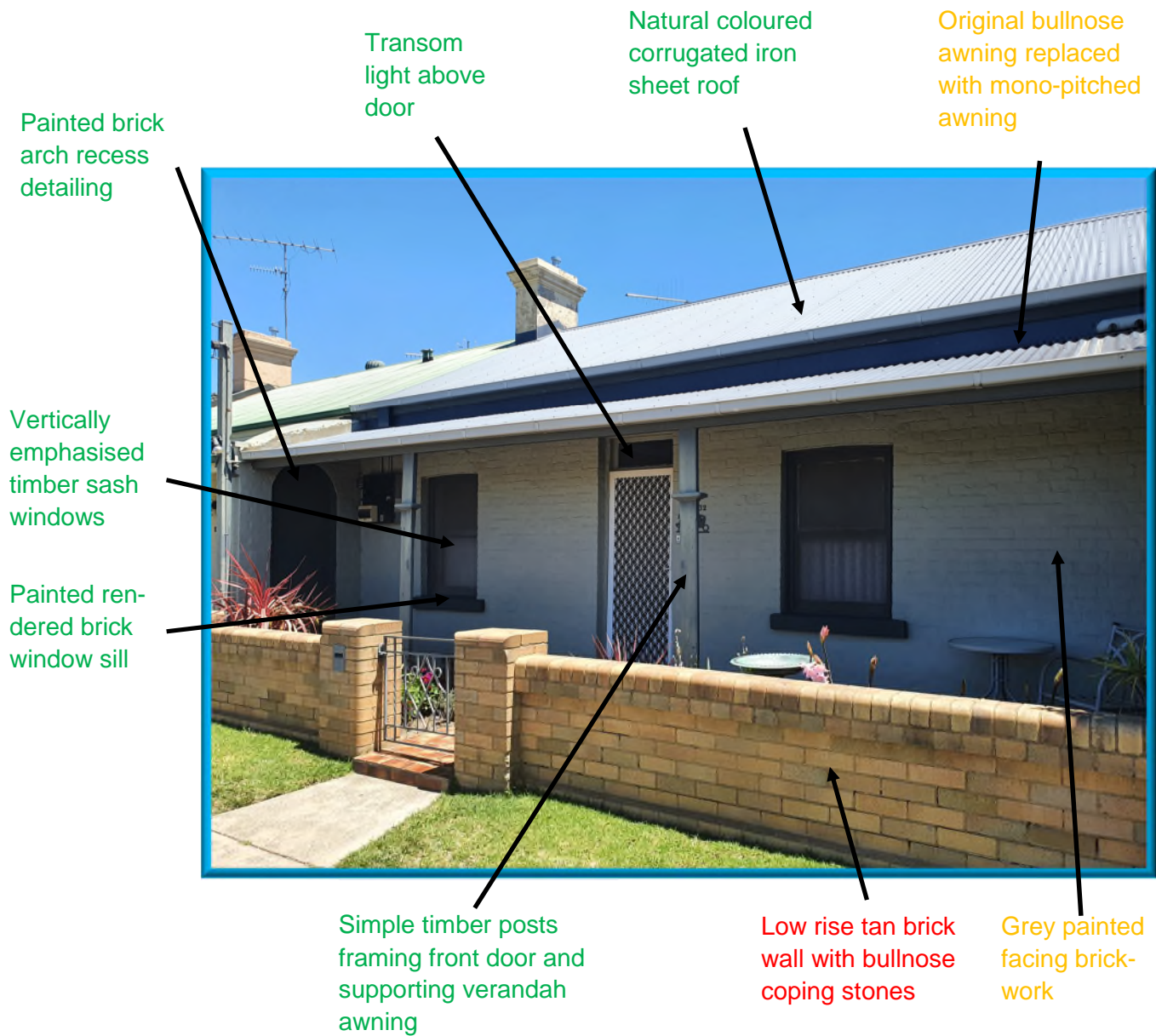


Lot size/ area	234 m2
Frontage width	9.3m
Lot depth	25.3m
Front set-back	1.7m
Rear setback	6.6m
Approx. FSR	0.66:1



Northern Conservation Area
Area N3
Character Assessment Proforma

32 Upper Stern Street

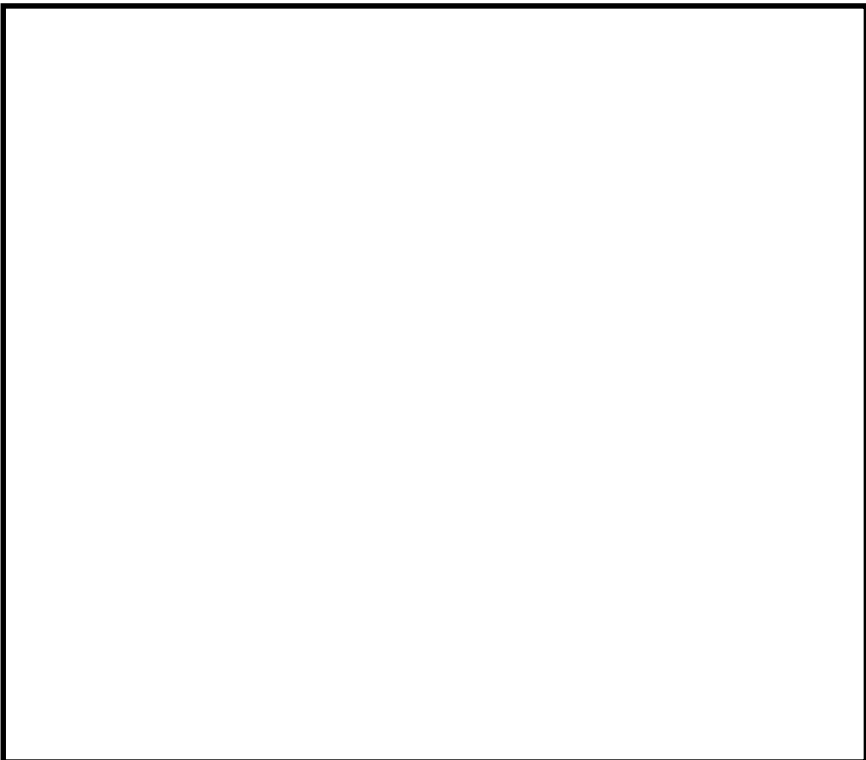




**Northern Conservation Area
Area N3
Character Assessment Proforma**

30 Upper Stern Street

Victorian



Lot size/ area	227 m2
Frontage width	9m
Lot depth	25.3m
Front set-back	1.6m
Rear setback	6.8m
Approx. FSR	0.65:1



Northern Conservation Area
Area N3
Character Assessment Proforma

30 Upper Stern Street

Original bullnose awning replaced with mono-pitched awning

Transom light above door

Painted green corrugated iron sheet roof

Cream painted facing brick-work

Vertically emphasised painted timber sash windows

Painted rendered brick window sill



Cream painted timber picket fence

Simple timber posts framing front door and supporting verandah awning

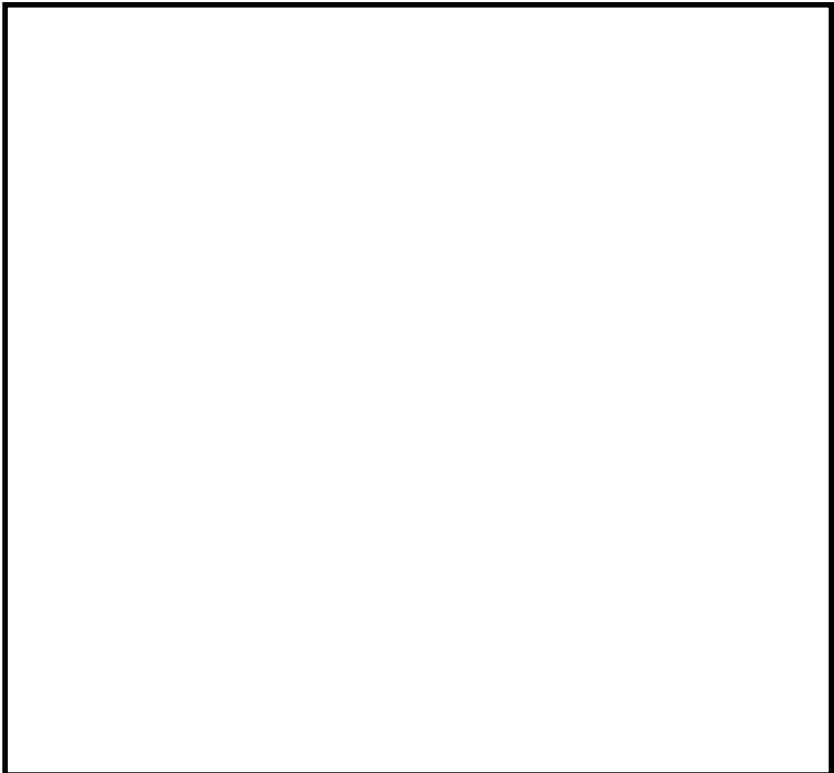
Painted brick arch recess detailing



**Northern Conservation Area
Area N3
Character Assessment Proforma**

28 Upper Stern Street

**Post
War**

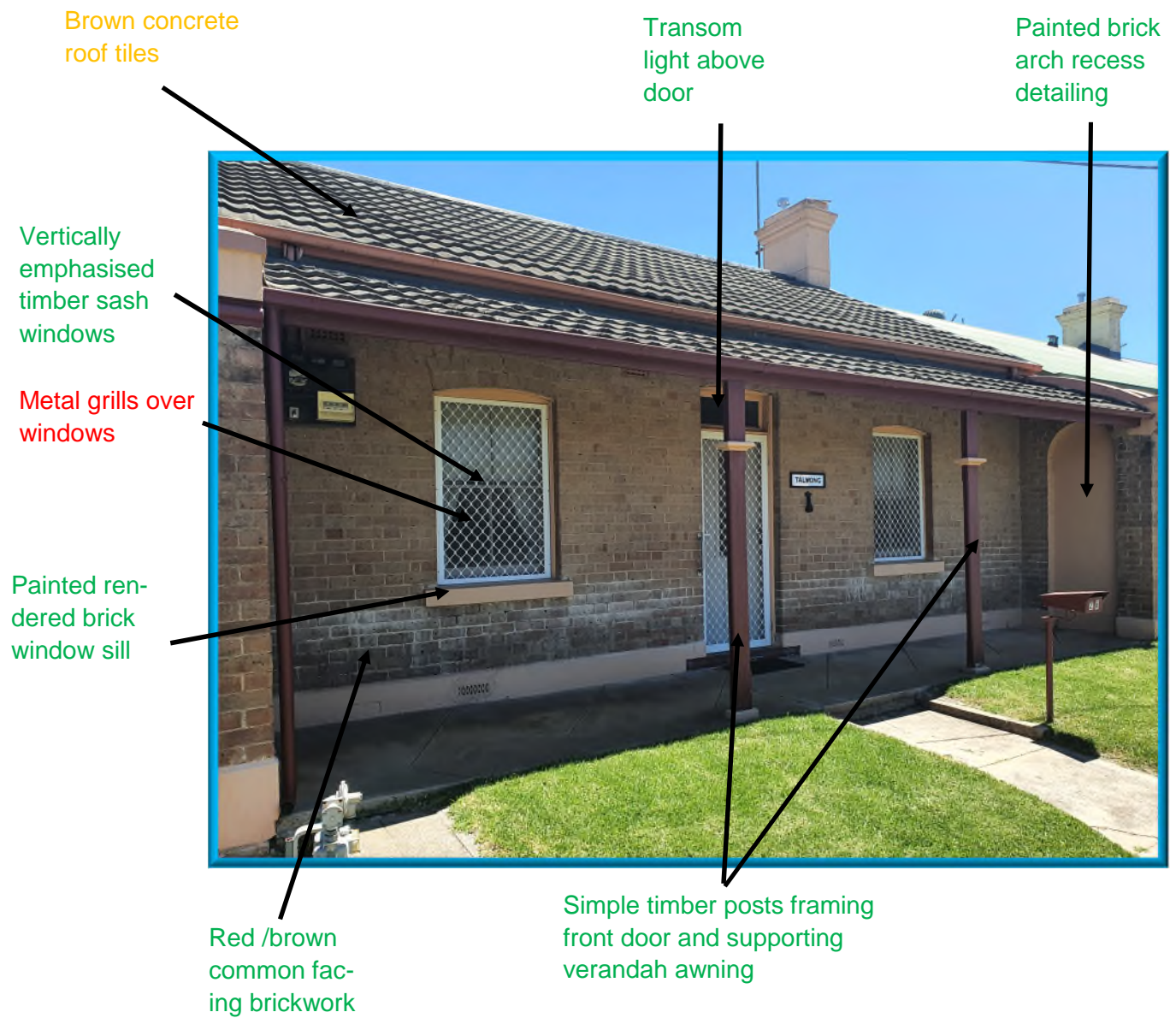


Lot size/ area	234 m2
Frontage width	9.3m
Lot depth	25.3m
Front set-back	1.5m
Rear setback	7m
Approx. FSR	0.70:1



Northern Conservation Area
Area N3
Character Assessment Proforma

28 Upper Stern Street





Northern Conservation Area
Area N3
Character Assessment Proforma

26 Upper Stern Street

1960's to
 1990's



Lot size/ area	685 m2
Frontage width	27.5m
Lot depth	25.3m
Front set-back	2.8m
Rear setback	5.5m
Approx. FSR	0.61:1

A 1970's property.



Northern Conservation Area
Area N3
Character Assessment Proforma

26 Upper Stern Street

Red concrete
tiled roof



Large horizontally empha-
sised windows

Red common
facing brickwork

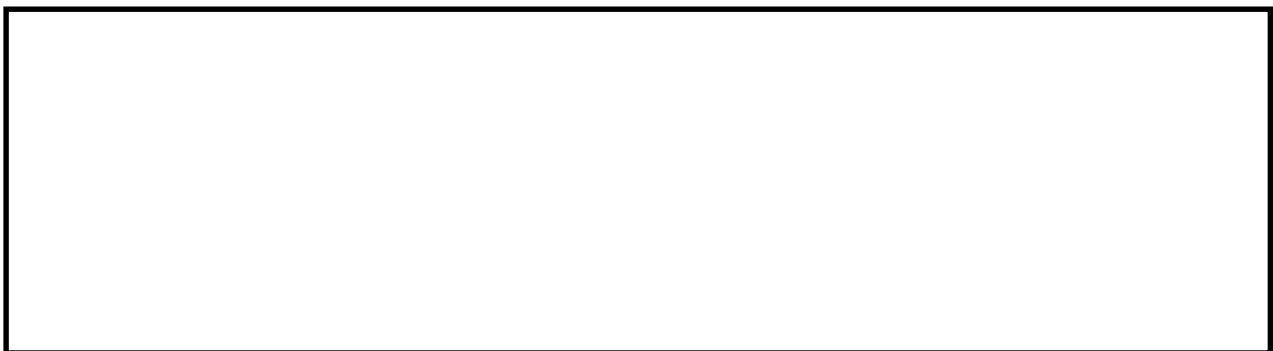


Northern Conservation Area
Area N3
Character Assessment Proforma

22 Upper Stern Street



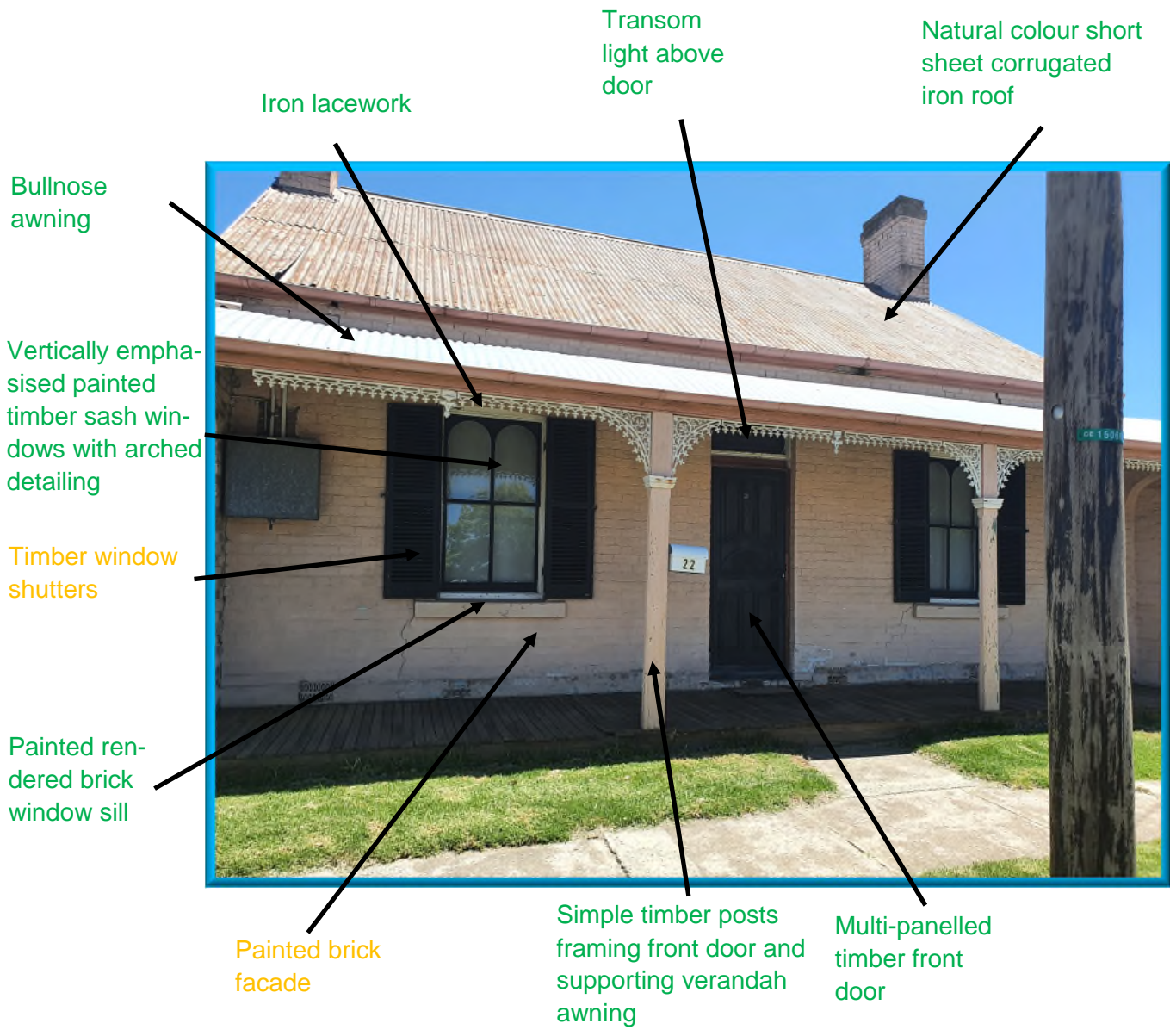
Lot size/ area	463 m2
Frontage width	17.8m
Lot depth	25.3m
Front set-back	0.5m
Rear setback	5.5m
Approx. FSR	0.32:1





Northern Conservation Area
Area N3
Character Assessment Proforma

22 Upper Stern Street





Northern Conservation Area
Area N3
Character Assessment Proforma

18 Upper Stern Street



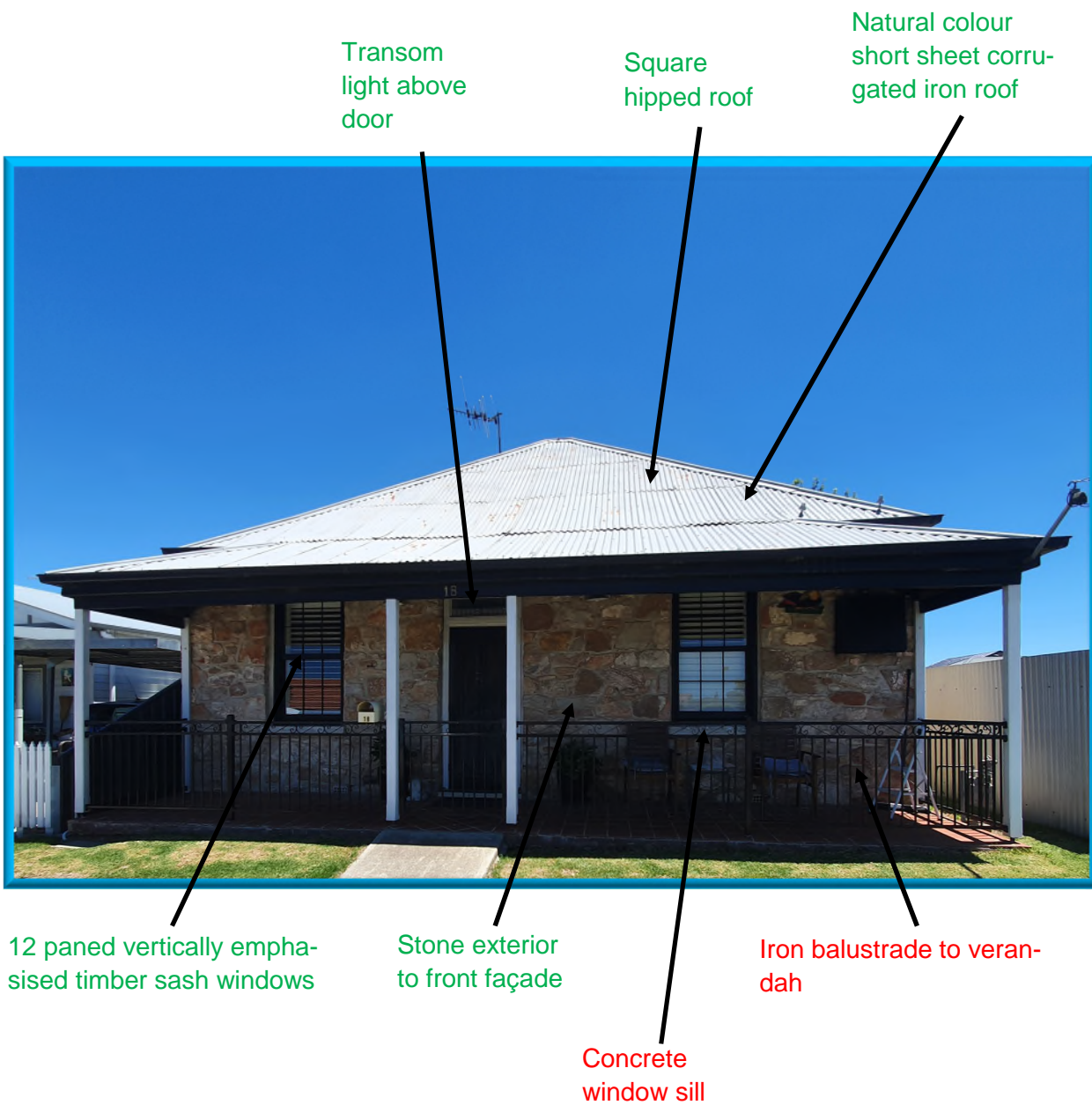
Lot size/ area	251m ²
Frontage width	10.2m
Lot depth	25.3m
Front set-back	0.5m
Rear setback	14.5m
Approx. FSR	0.51:1

A mid Victorian Cottage.



Northern Conservation Area
Area N3
Character Assessment Proforma

18 Upper Stern Street





**Northern Conservation Area
Area N3
Character Assessment Proforma**

16 Upper Stern Street

Inter
war



Lot size/ area	347 m ²
Frontage width	13.75m
Lot depth	25.3m
Front set-back	3.4m
Rear setback	9.5m
Approx. FSR	0.52:1





Northern Conservation Area
Area N3
Character Assessment Proforma

16 Upper Stern Street

Mono-pitched window awning with timber side brackets with fan detailing

Painted batten detailing on gable apex

Flat roof awning to verandah

Horizontally emphasised window

White painted timber weather-board facade



White painted timber picket fence

Masonry piers with double timber columns supporting verandah awning

Brick corbeling detailing

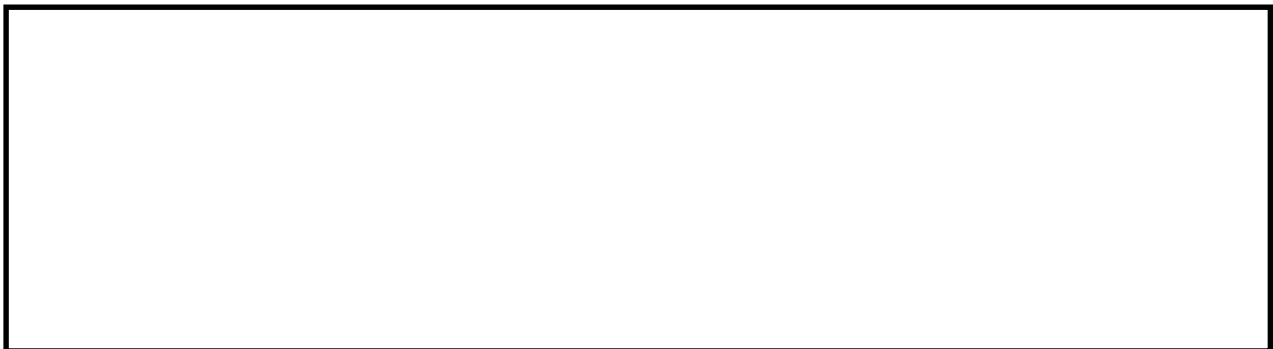


**Northern Conservation Area
Area N3
Character Assessment Proforma**

14 Upper Stern Street



Lot size/ area	343 m2
Frontage width	13.75m
Lot depth	25.3m
Front set-back	3.3m
Rear setback	9.3m
Approx. FSR	0.48:1





Northern Conservation Area
Area N3
Character Assessment Proforma

14 Upper Stern Street

Square
hipped roof

Natural colour
short sheet corru-
gated iron roof

Large horizon-
tally emphasised
aluminium win-
dows



Enclosed
verandah

Low rise concrete
front wall



Northern Conservation Area
Area N3
Character Assessment Proforma

12 Upper Stern Street



Lot size/ area	343 m2
Frontage width	13.75m
Lot depth	25.3m
Front set-back	3.3m
Rear setback	7.3m
Approx. FSR	0.54:1





Northern Conservation Area
Area N3
Character Assessment Proforma

12 Upper Stern Street

Grey colourbond roof

Corbelling detailing

Vertically emphasised painted timber sash window

Painted rendered brick façade



Iron palisade fence topped with horizontally emphasised timber boards

Mono-pitched window awning with timber side brackets



Northern Conservation Area
Area N3
Character Assessment Proforma

10 Upper Stern Street

Federation



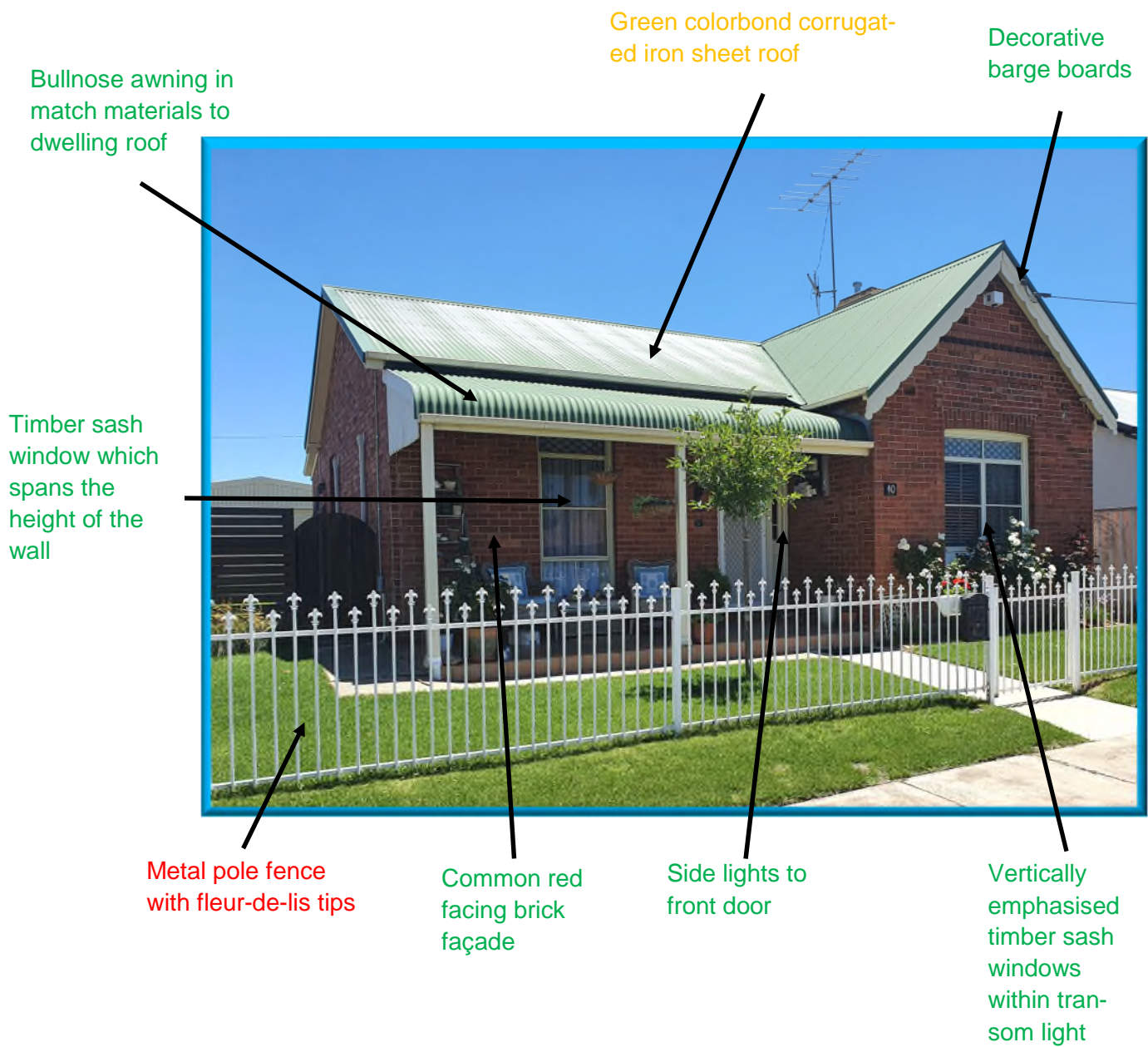
Federation cottage

Lot size/ area	341 m2
Frontage width	13.7m
Lot depth	25.3m
Front set-back	3.5m
Rear setback	7.5m
Approx. FSR	0.55:1



Northern Conservation Area
Area N3
Character Assessment Proforma

10 Upper Stern Street



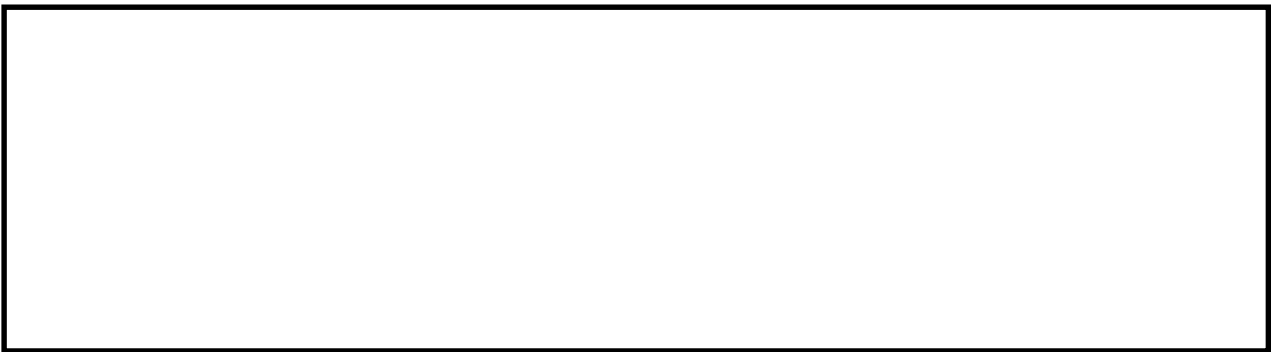


Northern Conservation Area
Area N3
Character Assessment Proforma

8 Upper Stern Street



Lot size/ area	417.4 m ²
Frontage width	16.1m
Lot depth	25.3m
Front set-back	0m
Rear setback	16.75m
Approx. FSR	0.48:1





Northern Conservation Area
Area N3
Character Assessment Proforma

8 Upper Stern Street

Natural colour short
sheet corrugated iron
roof



Grey rendered fa-
çade obscuring any
brick detailing

Vertically emphasised multi-
paned timber sash windows
– poor condition

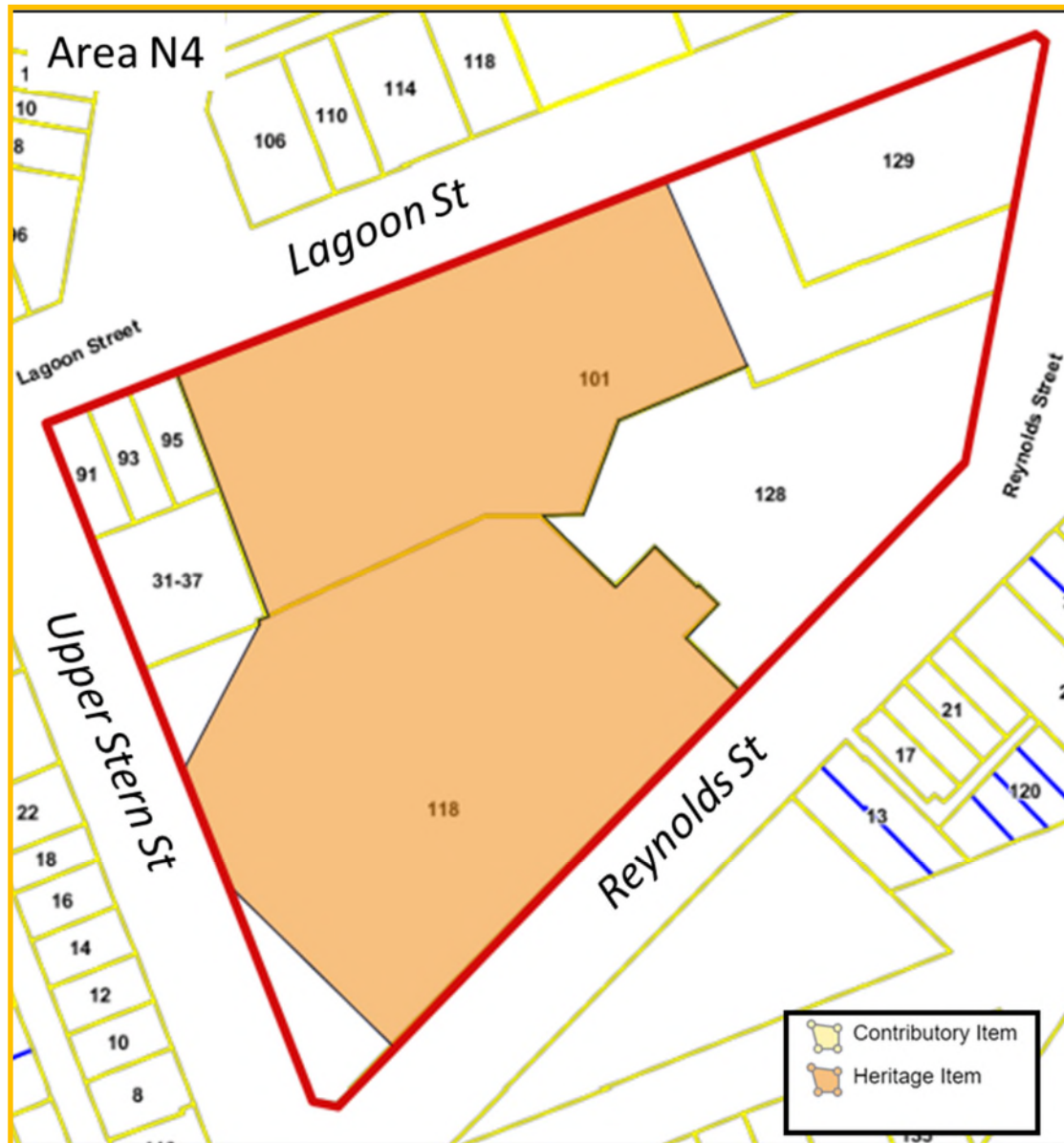
Painted rendered
brick window sill

Transom
light above
door

Assessment Area N4: Northern Conservation Area Precinct

Included Streets:

- Lagoon Street
- Reynolds Street
- Upper Stern Street





Northern Conservation Area
Area N4
Character Assessment Proforma

91 Lagoon Street

**Post
War**



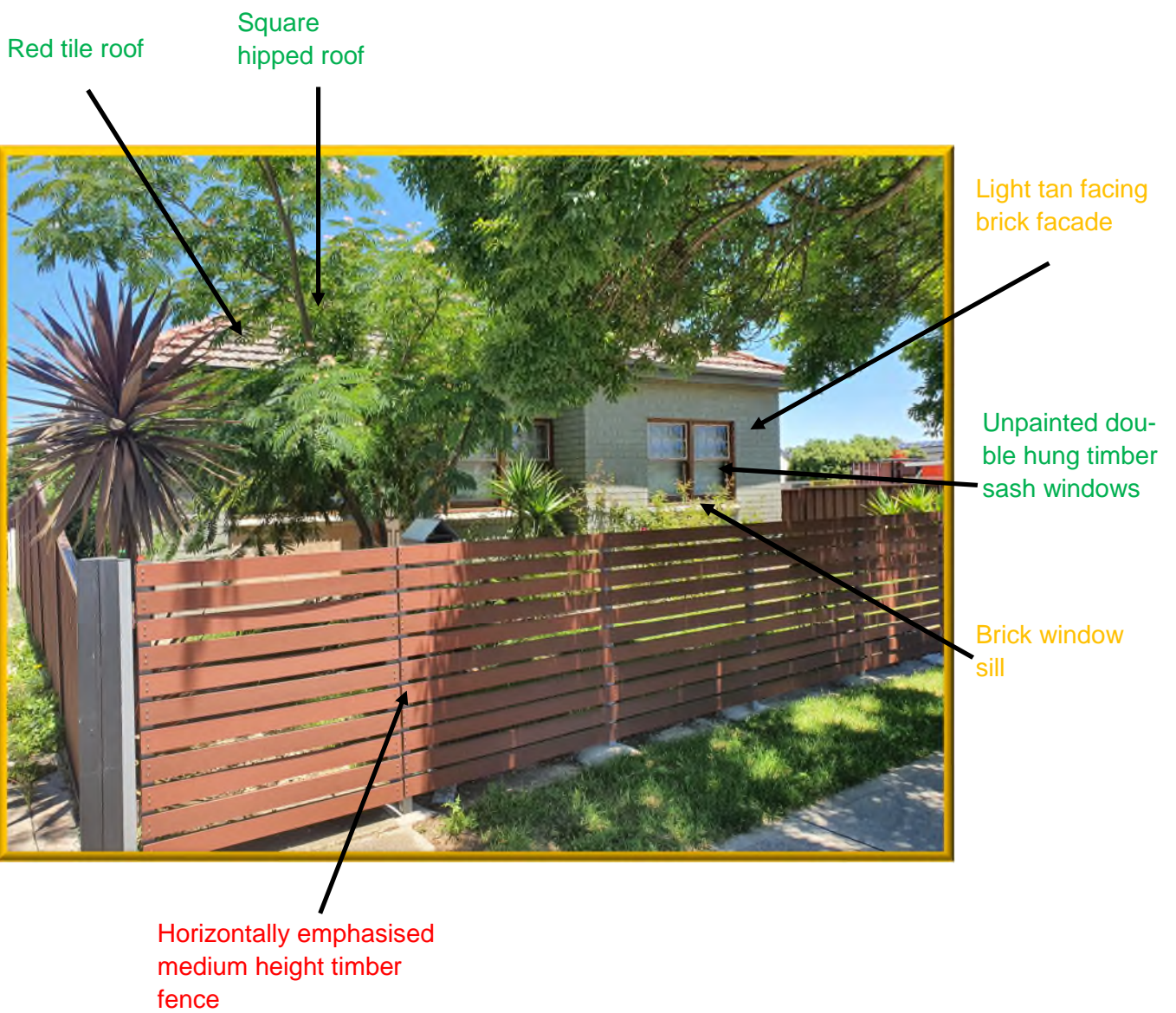
Lot size/ area	404m ²
Frontage width	12m
Lot depth	34.10m
Front set-back	3.75m
Rear setback	17.5m
Approx. FSR	





Northern Conservation Area
Area N4
Character Assessment Proforma

91 Lagoon Street



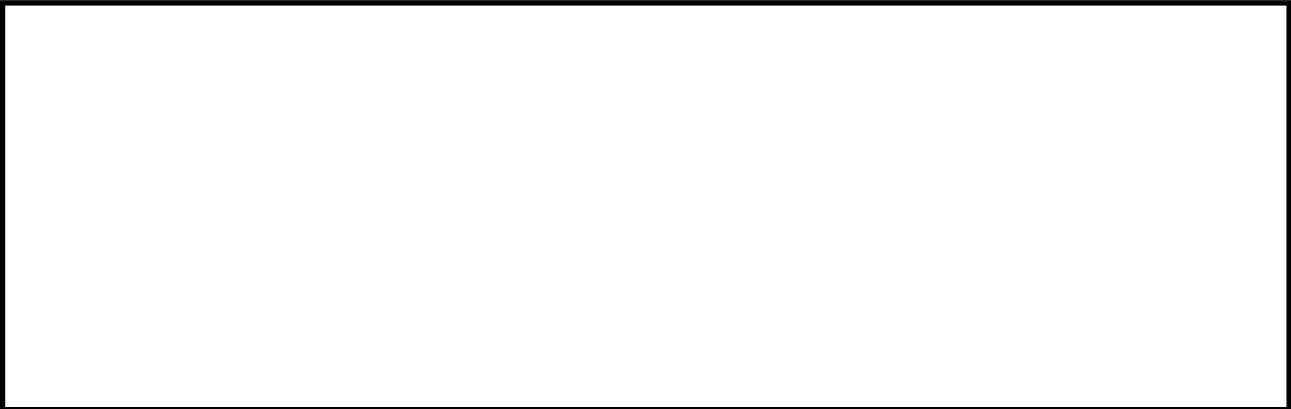


Northern Conservation Area
Area N4
Character Assessment Proforma

93 Lagoon Street



Lot size/ area	409m ²
Frontage width	12m
Lot depth	34.10m
Front set-back	4.2m
Rear setback	13.8m
Approx. FSR	





Northern Conservation Area
Area N4
Character Assessment Proforma

93 Lagoon Street

Red painted short sheet corrugated iron roof

Steep pitch to roof

White painted timber, brick and stucco facade



Large horizontally emphasised aluminium windows

Enclosed verandah



Northern Conservation Area
Area N4
Character Assessment Proforma

95 Lagoon Street

**Post
War**

Lot size/ area	458m ²
Frontage width	13.8m
Lot depth	34.10m
Front set-back	4m
Rear setback	17.5m
Approx. FSR	

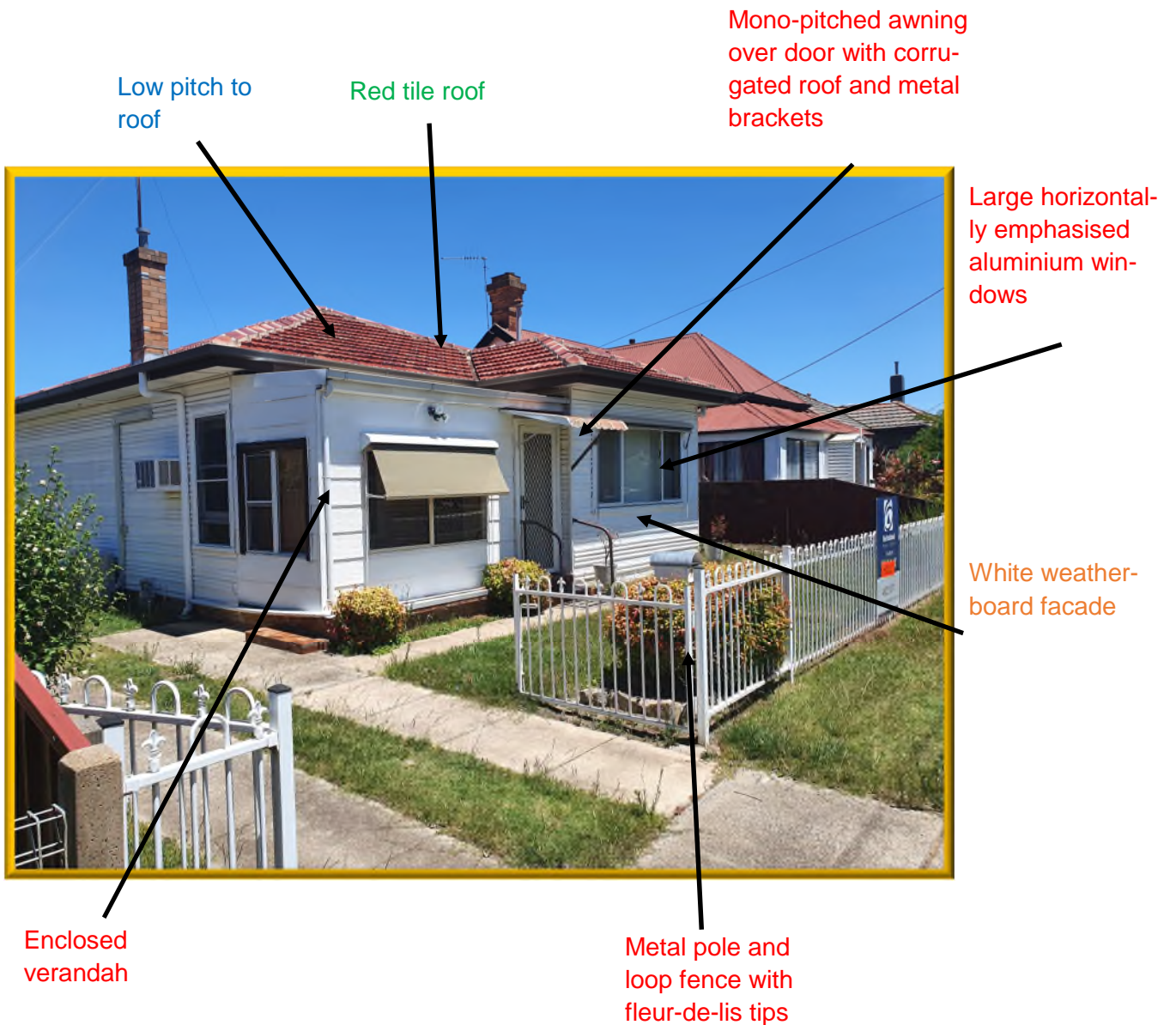


Modified weatherboarded facade– not original



Northern Conservation Area
Area N4
Character Assessment Proforma

95 Lagoon Street





**Northern Conservation Area
Area N4
Character Assessment Proforma**

**101 Lagoon Street– Early Learning Centre
Heritage Item**



Lot size/ area	
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	

Early Learning Centre.



Northern Conservation Area
Area N4
Character Assessment Proforma

101 Lagoon Street– Early Learning Centre
Heritage Item





Northern Conservation Area
Area N4
Character Assessment Proforma

101 Lagoon Street- Our Lady Fatima Church
Heritage Item

Lot size/ area	
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	



Stone building which contributes to the historic character of the area.

Our Lady of Fatima Church is highly significant locally for its long association with catholic services in Goulburn. The original sandstone church is notable for its fine workmanship.



Northern Conservation Area

Area N4

Character Assessment Proforma

**101 Lagoon Street- Our Lady Fatima Church
Heritage Item**





Northern Conservation Area
Area N4
Character Assessment Proforma

101 Lagoon Street. St Joseph's Primary School

1960's to 1990's



Lot size/ area	
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	





Northern Conservation Area
Area N4
Character Assessment Proforma

101 Lagoon Street. St Joseph's Primary School





Northern Conservation Area
Area N4
Character Assessment Proforma

129 Lagoon Street



Lot size/ area	
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	

This petrol station stands at the entrance to Goulburn. The current development is out of scale and character with that of the Conservation Area.



Northern Conservation Area
Area N4
Character Assessment Proforma

129 Lagoon Street





**Northern Conservation Area
Area N4
Character Assessment Proforma**

**118 Reynolds St. St Joseph's School
Heritage Item**



Lot size/ area	
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	

A Manfred building.

St Joseph's Convent two-storey brick residential wings are of high local heritage significance for their association with the development of Catholic religious education in Goulburn. The foundation stone for the building was laid on 3 September 1882 by Bishop Lanigan. Further, one of the wings has been designed by local architect E.C Manfred.



Northern Conservation Area
Area N4
Character Assessment Proforma

118 Reynolds St. St Joseph's School
Heritage Item





Northern Conservation Area
Area N4
Character Assessment Proforma

118 Reynolds Street. St Joseph's School.
Car Park

Lot size/ area	
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	



This large expanse of hardstand serves as the overflow car park for St Joseph's school. This stands on a prominent corner plot on a central route into Goulburn.



Northern Conservation Area
Area N4
Character Assessment Proforma

118 Reynolds Street. St Joseph's School.
Car Park





**Northern Conservation Area
Area N4
Character Assessment Proforma**

19 Upper Stern Street

**1960's to
1990's**



Lot size/ area	
Frontage width	
Lot depth	
Front set-back	
Rear setback	
Approx. FSR	

Southern Cross Care Home



**Northern Conservation Area
Area N4
Character Assessment Proforma**

19 Upper Stern Street





Northern Conservation Area
Area N4
Character Assessment Proforma

31 to 37 Upper Stern Street

**1960's to
1990's**



Lot size/ area	1405m2
Frontage width	38.15m
Lot depth	37.4m
Front set-back	3m
Rear setback	0m
Approx. FSR	

Mary of the Cross Seniors Living



Northern Conservation Area
Area N4
Character Assessment Proforma

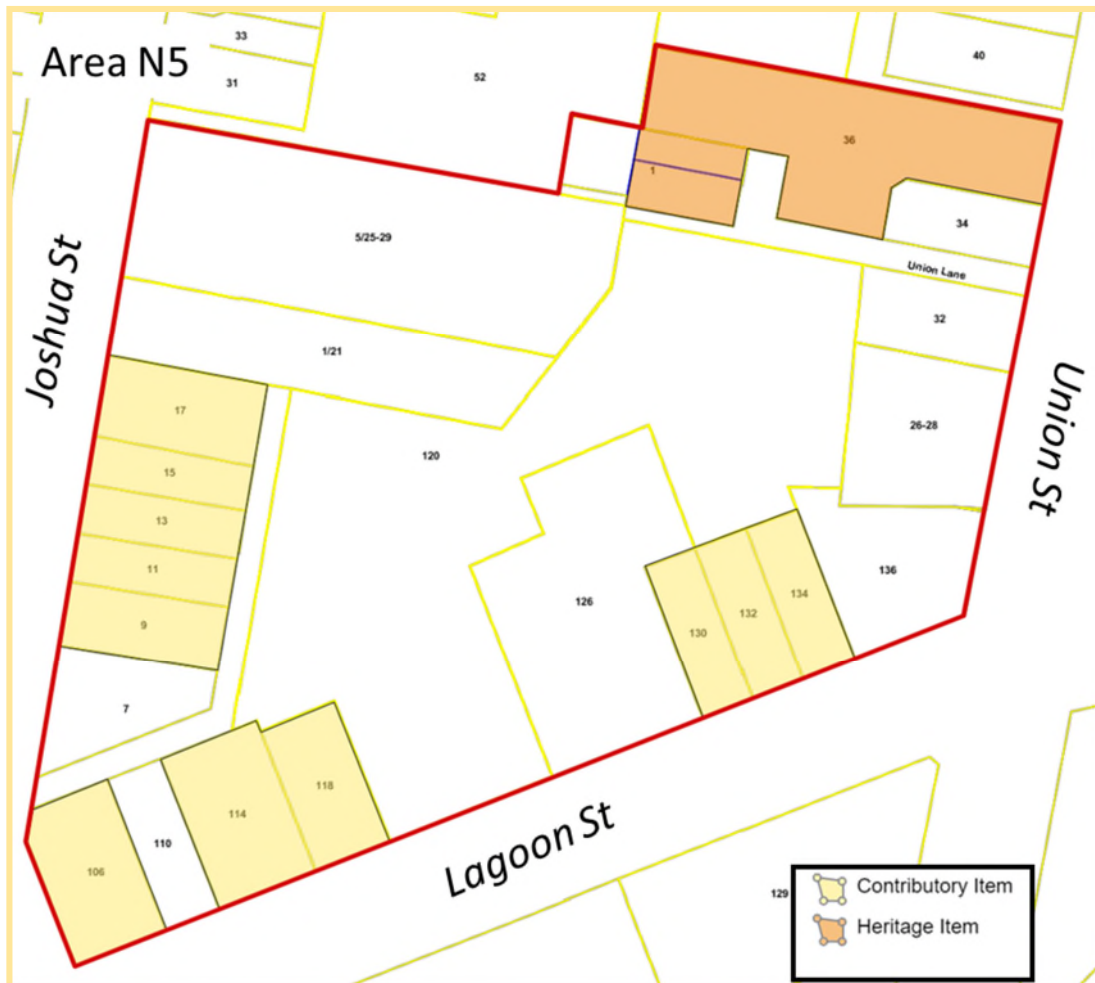
31 to 37 Upper Stern Street



Assessment Area N5: Northern Conservation Area Precinct

Included Streets:

- Lagoon Street
- Joshua Street
- Union Street
- Union Lane





Northern Conservation Area
Area N5
Character Assessment Proforma

106 Lagoon Street
Contributory Item

**Post
War**



Lot size/ area	961.1m ²
Frontage width	24.4m
Lot depth	40.3m
Front set-back	11.5m
Rear setback	16.1
Approx. FSR	0.35:1

A good example of a 1940`s brown brick and tile property and would have been a relatively grand house when it was first built.



Northern Conservation Area
Area N5
Character Assessment Proforma

106 Lagoon Street
Contributory Item

Medium pitched
hipped roof

Painted timber double hung
windows

Low rise wrought iron
balustrade

Steel roller garage
door

Brown facing
brick façade



Stone wall and wrought
iron gates

Stone flagged
terrace



**Northern Conservation Area
Area N5
Character Assessment Proforma**

110 Lagoon Street

**Post
War**



Lot size/ area	591.1m ²
Frontage width	14.3m
Lot depth	40.3m
Front set-back	7.1m
Rear setback	16.5m
Approx. FSR	0.42:1

A 1950's/1960's cottage



Northern Conservation Area
Area N5
Character Assessment Proforma

110 Lagoon Street

Concrete tiled roof

Aluminium windows

White weath-
erboarded
façade with
brick base



Metal pole and
loop fence with
fleur-de-lis tips



Northern Conservation Area
Area N5
Character Assessment Proforma

114 Lagoon Street
Contributory Item



Lot size/ area	1030m ²
Frontage width	25.7m
Lot depth	40.3m
Front set-back	3.5m
Rear setback	12.8m
Approx. FSR	0.34:1

An example of a classic late Victorian villa



Northern Conservation Area
Area N5
Character Assessment Proforma

114 Lagoon Street
Contributory Item





Northern Conservation Area
Area N5
Character Assessment Proforma

118 Lagoon Street
Contributory Item



Lot size/ area	748.7m ²
Frontage width	20m
Lot depth	37.6m
Front set-back	4m
Rear setback	18.4m
Approx. FSR	0.24:1

Late Victorian villa of the same period as adjacent property 114 Lagoon Street but some differential detailing including the fretwork on the gable barge boards. Which represents a very good example of this feature.



Northern Conservation Area
Area N5
Character Assessment Proforma

118 Lagoon Street
Contributory Item





Northern Conservation Area
Area N5
Character Assessment Proforma

120 Lagoon Street

1960's to
1990's



Lot size/ area	10360m2
Frontage width	43.6
Lot depth	113 max depth
Front set-back	n/a
Rear setback	n/a
Approx. FSR	0.15:1

Legacy Lodge, Multi-Dwelling

An opportunity site due to its large lot size, current low density and its twin access points from both Lagoon Street and Union Lane. This site presents an excellent opportunity for further higher density residential redevelopment.



Northern Conservation Area
Area N5
Character Assessment Proforma

120 Lagoon Street





Northern Conservation Area
Area N5
Character Assessment Proforma

126 Lagoon Street

1960's to
 1990's



Lot size/ area	3036m2
Frontage width	40.3m
Lot depth	72.5m
Front set-back	3.7m
Rear setback	3m
Approx. FSR	0.42:1

Motel.



Northern Conservation Area
Area N5
Character Assessment Proforma

126 Lagoon Street





Northern Conservation Area
Area N5
Character Assessment Proforma

130 Lagoon Street
Contributory Item

Inter
war



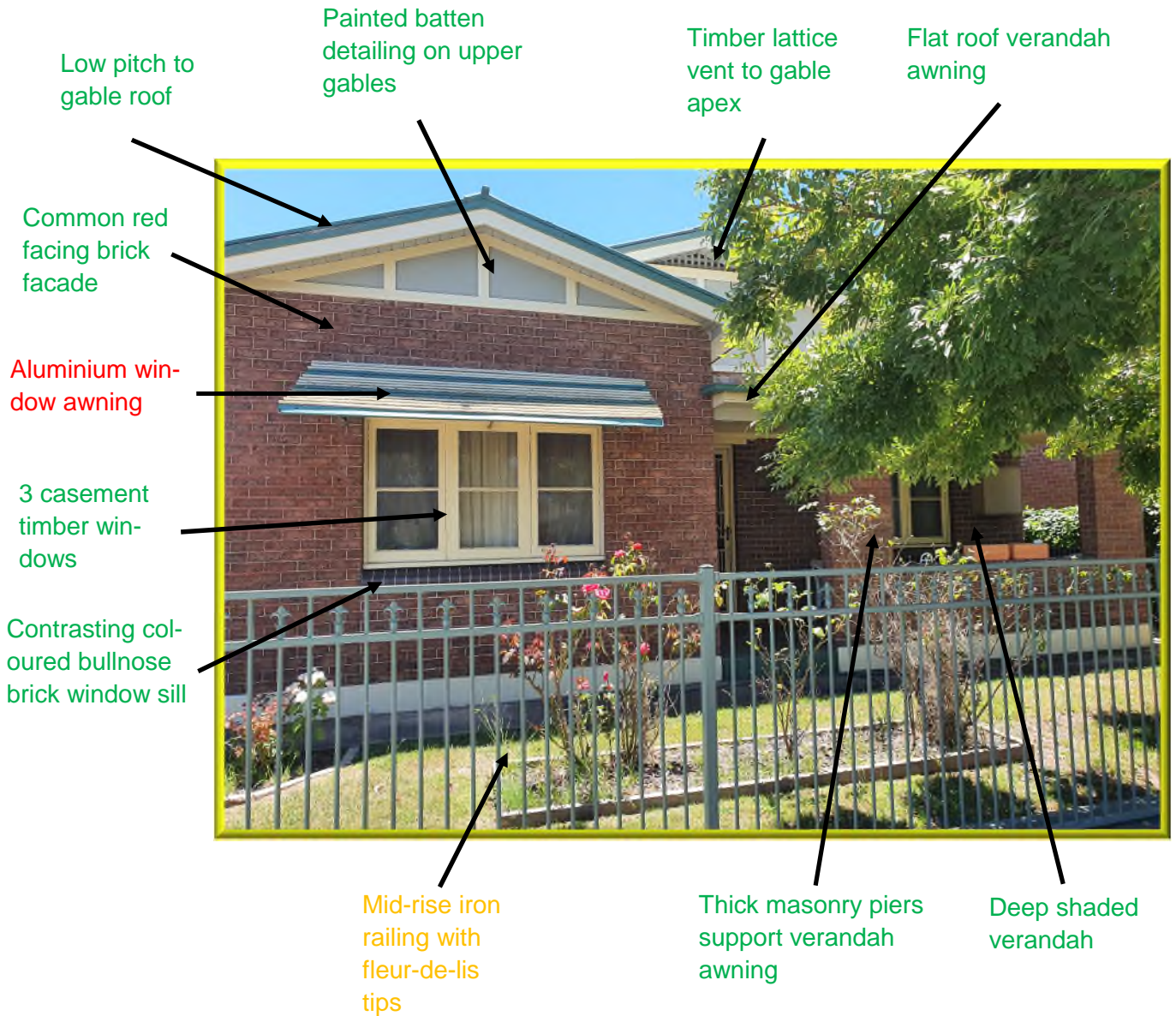
Lot size/ area	490.5m ²
Frontage width	13.3m
Lot depth	40.3m
Front set-back	3m
Rear setback	20.9m
Approx. FSR	0.37:1

This property forms one of three Californian bungalows in a row which illustrate typical features for this style of property. Their significance lies in both their representative features and character of the period but also from their close association with one another. These properties would have been built at roughly the same time.



Northern Conservation Area
Area N5
Character Assessment Proforma

130 Lagoon Street
Contributory Item





Northern Conservation Area
Area N5
Character Assessment Proforma

132 Lagoon Street
Contributory Item

Inter
war



Lot size/ area	535m2
Frontage width	13.3m
Lot depth	40.3m
Front set-back	3m
Rear setback	11.7m
Approx. FSR	0.41:1

This property forms one of three Californian bungalows in a row which illustrate typical features for this style of property. Their significance lies in both their representative features and character of the period but also from their close association with one another. These properties would have been built at roughly the same time.



Northern Conservation Area
Area N5
Character Assessment Proforma

132 Lagoon Street
Contributory Item

Painted timber batten detailing to upper gable

Timber lattice vent to gable apex

Flat roof verandah awning

Flat roof window awning

Deep stone window headers

3 casement timber windows

Common red facing brick facade



Roughcast render base

Thick masonry piers topped with double timber columns supporting verandah awning



Northern Conservation Area
Area N5
Character Assessment Proforma

134 Lagoon Street
Contributory Item

Inter
war



Lot size/ area	491m ²
Frontage width	14m
Lot depth	40.3m
Front set-back	3.1m
Rear setback	22.2m
Approx. FSR	0.34:1

This property forms one of three Californian bungalows in a row which illustrate typical features for this style of property. Their significance lies in both their representative features and character of the period but also from their close association with one another. These properties would have been built at roughly the same time.



Northern Conservation Area
Area N5
Character Assessment Proforma

134 Lagoon Street
Contributory Item





Northern Conservation Area
Area N5
Character Assessment Proforma

136 Lagoon Street

**1960's to
1990's**



Lot size/ area	1272m ²
Frontage width	55m
Lot depth	45.9m
Front set-back	10.4 max
Rear setback	0.8m
Approx. FSR	0.57:1

Broadcast Centre.

This is a landmark site for its very prominent corner location which helps define the entrance of Goulburn from the Hume Highway. The good sized lot with dual frontage and its current single storey character present an opportunity for medium rise residential development. The current building does not contribute to the character and/or significance of the Conservation Area.



Northern Conservation Area
Area N5
Character Assessment Proforma

136 Lagoon Street





Northern Conservation Area
Area N5
Character Assessment Proforma

26 to 28 & 32 Union Street

Vacant



Lot size/ area	1412m ²
Frontage width	43.4m
Lot depth	39.8m
Front set-back	0m
Rear setback	15.8m
Approx. FSR for 26 to 28	0.19:1



This is an opportunity site for its underdeveloped, industrial character where redevelopment would serve to make more efficient use of the land with medium rise residential development and improve the appearance of the streetscape and the character of the conservation area.



Northern Conservation Area
Area N5
Character Assessment Proforma

26 to 28 Union Street





Northern Conservation Area
Area N5
Character Assessment Proforma

34 Union Street

**Post
War**



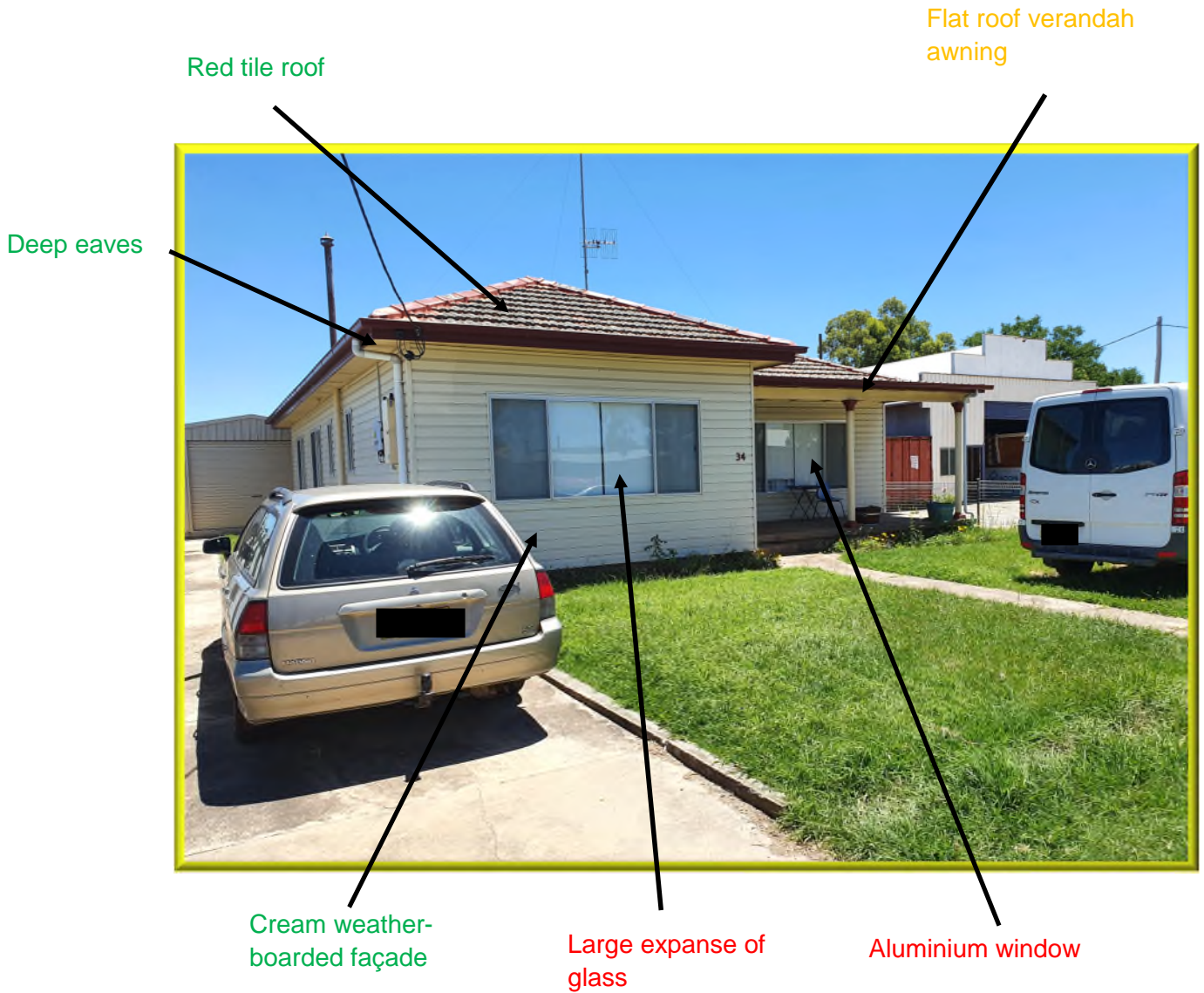
Lot size/ area	1014m2
Frontage width	15.9m
Lot depth	38.2m
Front set-back	6.5m
Rear setback	16.2m
Approx. FSR	0.24:1

Post war 1950's cottage



Northern Conservation Area
Area N5
Character Assessment Proforma

34 Union Street





Northern Conservation Area
Area N5
Character Assessment Proforma

36 Union Street
Heritage Item

Victorian



Lot size/ area	2024m2
Frontage width	20.8m
Lot depth	103m
Front set-back	17.7m
Rear setback	21.5m
Approx. FSR	0.45:1

The original St Nicholas' Anglican Church built in 1861 stands behind Hope's Cordial Factory. The church was probably designed by Rev. Richard Leigh, the first Church of England clergyman. The building is highly significant locally and its fabric has been retained relatively intact. The church was erected to serve the purpose of both school and church. The school master's old house at the back of the church was occupied until recently. In 1938 the church became the cordial factory of W.J. Sullivan & Son. It was later extended toward the street by Hope's Cordials



Northern Conservation Area
Area N5
Character Assessment Proforma

36 Union Street
Heritage Item





Northern Conservation Area
Area N5
Character Assessment Proforma

1 Union Lane
Heritage Item



Lot size/ area	883.8m ²
Frontage width	20m
Lot depth	44.9m
Front set-back	n/a
Rear setback	27.5m
Approx. FSR	0.14:1





Northern Conservation Area
Area N5
Character Assessment Proforma

1 Union Lane
Heritage Item

A large empty rectangular box with a yellow border, intended for the character assessment proforma.



Northern Conservation Area
Area N5
Character Assessment Proforma

25 to 29 Joshua Street

Post
2000's



Lot size/ area	4785 m2
Frontage width	40.2m
Lot depth	120.9m
Front set-back	7.5m
Rear setback	7.5m
Approx. FSR	0.46:1

Multi-dwelling housing



Northern Conservation Area
Area N5
Character Assessment Proforma

25 to 29 Joshua Street

Colorbond
Roof



No active
frontage to
streetscape



1960's to
1990's

Northern Conservation Area
Area N5
Character Assessment Proforma

21 Joshua Street



Lot size/ area	2099m ²
Frontage width	20.1m
Lot depth	110.5m
Front set-back	5.3m
Rear setback	24.6m
Approx. FSR	0.37:1

Multi-dwelling housing .
Potentially the first travel lodge in Australia



Northern Conservation Area
Area N5
Character Assessment Proforma

21 Joshua Street



No active
frontage to
streetscape



Northern Conservation Area
Area N5
Character Assessment Proforma

17 Joshua Street
Contributory Item

Victorian



A modified late Victorian house
 Secondary property on the lot appears to be a former hall or shop

Lot size/ area	809.4m ²
Frontage width	20.4m
Lot depth	40.3m
Front set-back	2.5m
Rear setback	15.4m
Approx. FSR	0.32:1



Northern Conservation Area
Area N5
Character Assessment Proforma

17 Joshua Street
Contributory Item

Two detailed brick chimneys

Natural colour galvanized iron sheet roof

Moulded arched sash windows behind front extension

Enclosed verandah

Low rise brick wall with corbeling detailing but later addition to property





Northern Conservation Area
Area N5
Character Assessment Proforma

15 Joshua Street
Contributory Item

Federation



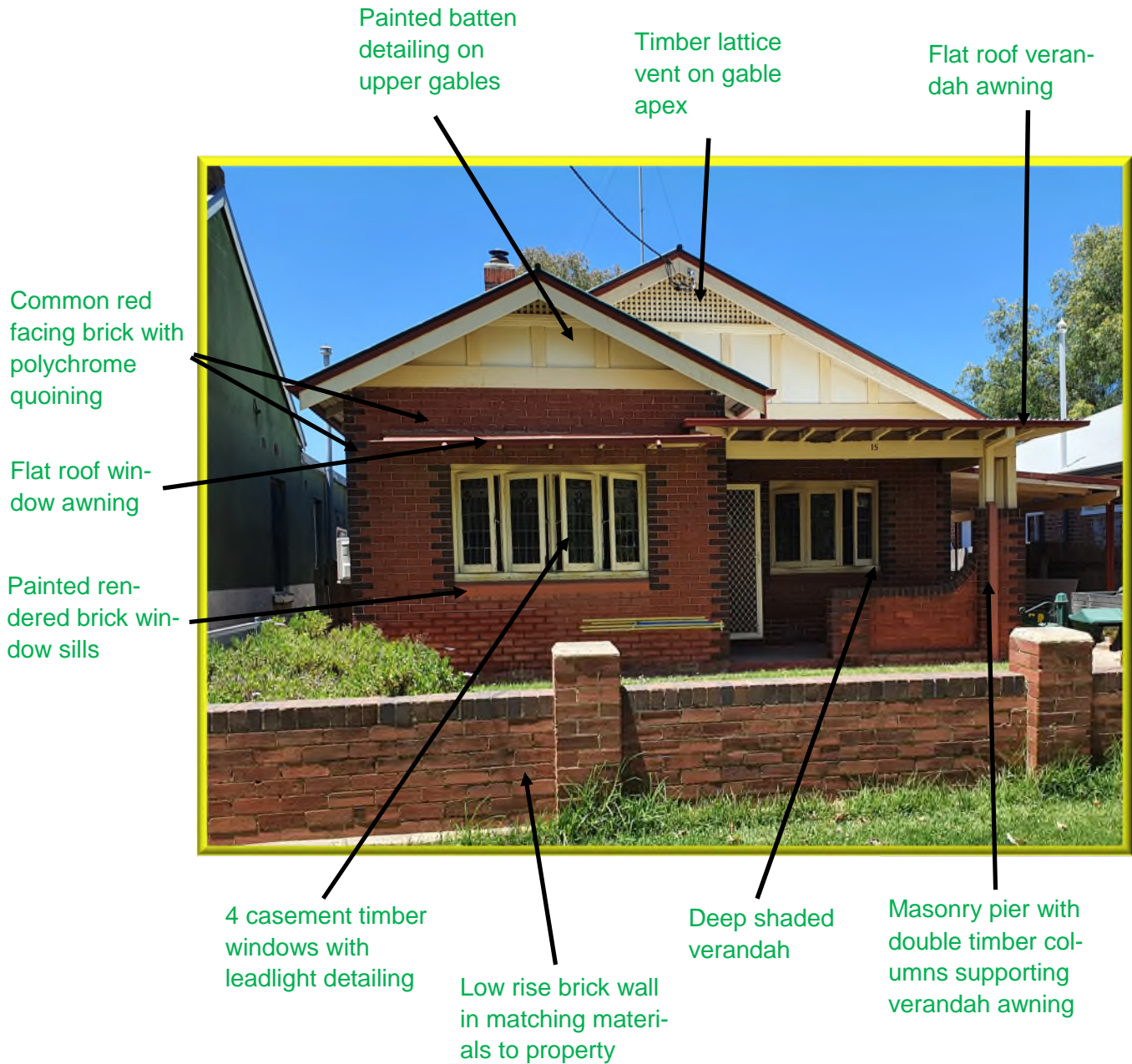
Lot size/ area	490 m2
Frontage width	12.2m
Lot depth	40.3m
Front set-back	5.6m
Rear setback	13.1m
Approx. FSR	0.41:1

The Style of the property represents the evolution from an Edwardian/Federation to a Californian Bungalow style.



Northern Conservation Area
Area N5
Character Assessment Proforma

15 Joshua Street
Contributory Item





Northern Conservation Area
Area N5
Character Assessment Proforma

13 Joshua Street
Contributory Item

Inter
war



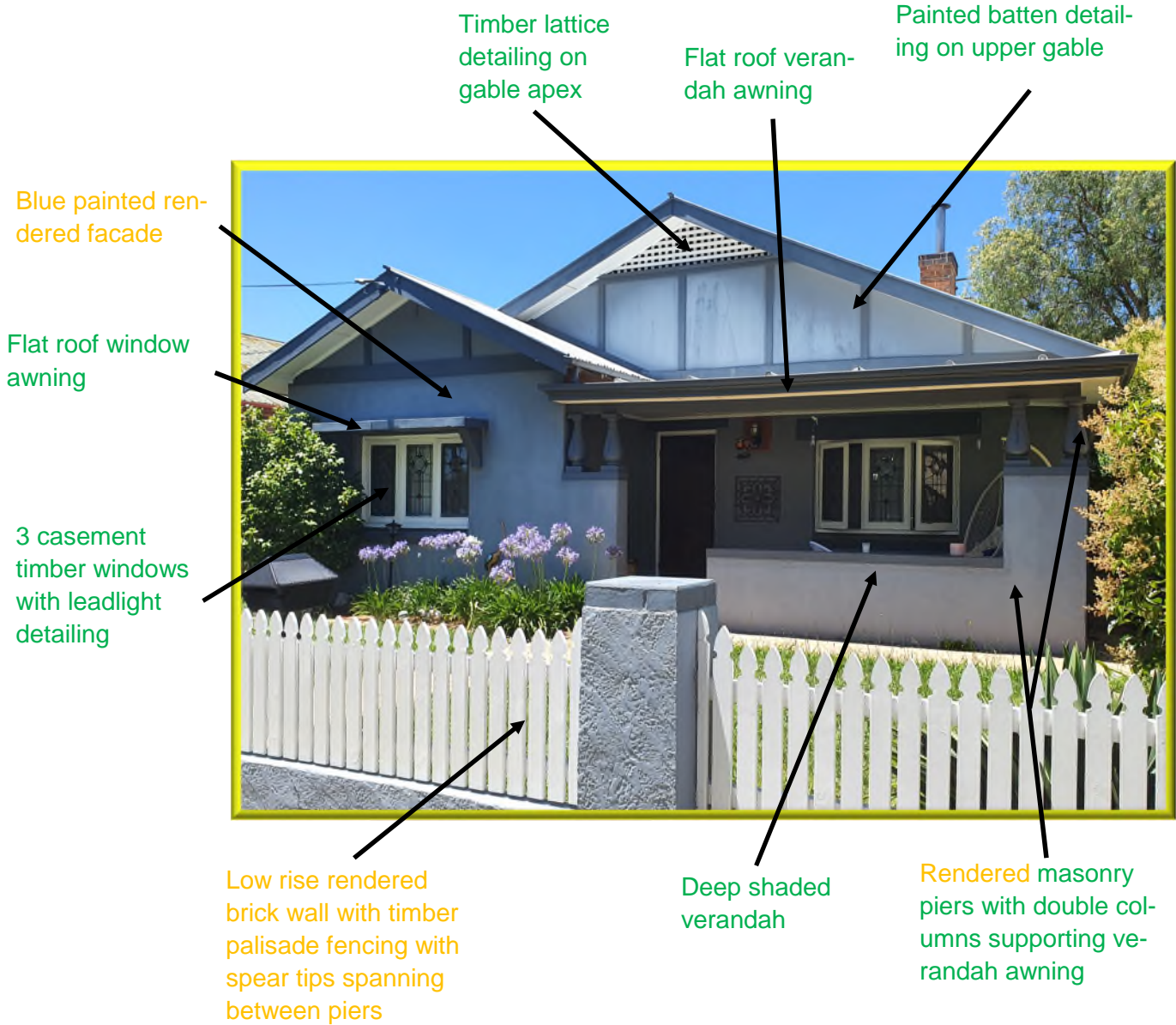
Lot size/ area	490m ²
Frontage width	12.2m
Lot depth	40.3m
Front set-back	5.6m
Rear setback	16.7m
Approx. FSR	0.43:1

A 1920's California Bungalow Style property



Northern Conservation Area
Area N5
Character Assessment Proforma

13 Joshua Street
Contributory Item





Northern Conservation Area
Area N5
Character Assessment Proforma

11 Joshua Street
Contributory Item



Lot size/ area	490m2
Frontage width	12.2m
Lot depth	40.3m
Front set-back	2.1m
Rear setback	17.9m
Approx. FSR	0.45:1

A late Victorian villa.



Northern Conservation Area
Area N5
Character Assessment Proforma

11 Joshua Street
Contributory Item





Northern Conservation Area
Area N5
Character Assessment Proforma

9 Joshua Street
Contributory Item

Victorian



Lot size/ area	651.3m ²
Frontage width	16.4m
Lot depth	40.3m
Front set-back	2.1m
Rear setback	16.1m
Approx. FSR	0.39:1

A late Victorian villa



Northern Conservation Area
Area N5
Character Assessment Proforma

9 Joshua Street
Contributory Item



Short sheet green painted galvanised iron roof

Decorative brick arched detailing over top of window

Iron lacework detailing

Large vertically emphasised double hung timber windows with arched tops

Yellow painted brick facade

Painted concrete moulded window sill with console detailing

Decorative cast iron posts supporting verandah awning and framing the front door

Direct brick paver path from front door to pavement

Painted brick arched recess detailing



**Northern Conservation Area
Area N5
Character Assessment Proforma**

7 Joshua Street

**1960's to
1990's**



Lot size/ area	867m ²
Frontage width	33.6m
Lot depth	40.3m
Front set-back	1.5m
Rear setback	0.75m
Approx. FSR	0.66:1

1960's property.



Northern Conservation Area
Area N5
Character Assessment Proforma

7 Joshua Street

Long mono-pitched awning with different roofing material to roof

Red tiled roof

Large timber window shutters



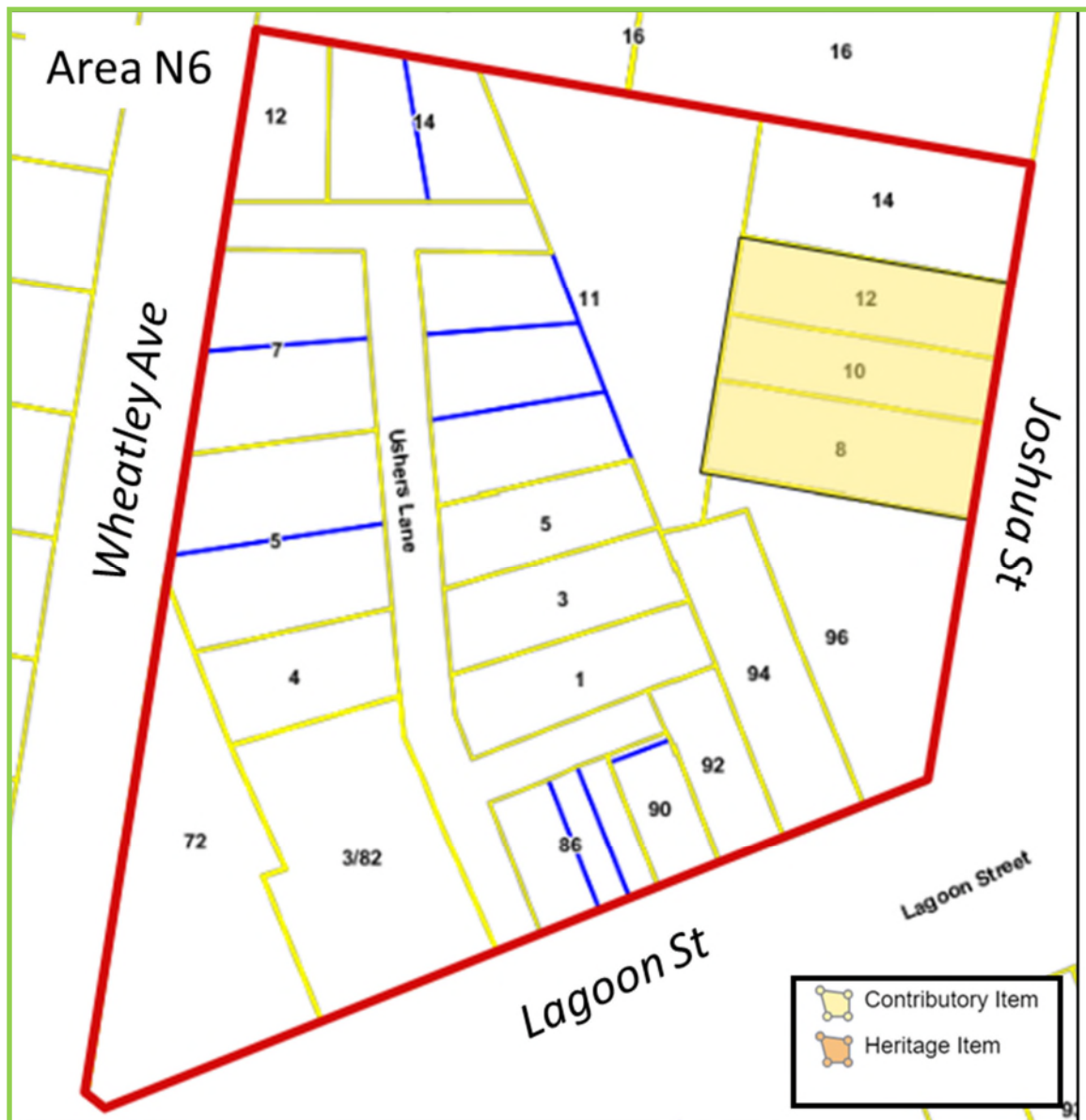
Large expanse of glass

Aluminium windows

Assessment Area N6: Northern Conservation Area Precinct

Included Streets:

- Wheatley Avenue
- Lagoon Street
- Ushers Lane
- Joshua Street





**Northern Conservation Area
Area N6
Character Assessment Proforma**

72 Lagoon Street

1960's to
1990's



Lot size/ area	1031m ²
Frontage width	67.2m onto Whealthey Ave. 30.1m onto La-
Lot depth	30.1 m max
Front set-back	2.7m to 10.1m range
Rear setback	2.1m to 6.8m range
Approx. FSR	

1970`s/80`s townhouses



Northern Conservation Area
Area N6
Character Assessment Proforma

72 Lagoon Street

Concrete
roof tiles

Limited articulation of
front facade

Aluminium horizon-
tally emphasised
windows



Tan brick facade



**Northern Conservation Area
Area N6
Character Assessment Proforma**

82 Lagoon Street

**1960's to
1990's**



Lot size/ area	815.7m ²
Frontage width	24.2m
Lot depth	36.6m
Front set-back	8.3m
Rear setback	7.4m
Approx. FSR	

1960`s/70`s residential Flat Building



Northern Conservation Area
Area N6
Character Assessment Proforma

82 Lagoon Street

Limited articulation to front facade

Wire mesh fencing



Large aluminium windows

Large blank facades





Northern Conservation Area
Area N6
Character Assessment Proforma

86 Lagoon Street



Lot size/ area	301.7m ²
Frontage width	16.4m
Lot depth	18.3m
Front set-back	1.7m
Rear setback	2.1m
Approx. FSR	

A double fronted, single storey late 19th Century cottage which has been modified



Northern Conservation Area
Area N6
Character Assessment Proforma

86 Lagoon Street

Hipped verandah awning
in matching materials to
dwelling

Natural coloured galvanised
steel roof



Horizontally empha-
sised timber veran-
dah enclosure

Low rise timber
picket fence

Painted brick
rendered
front facade

Partially enclosed front
verandah



**Northern Conservation Area
Area N6
Character Assessment Proforma**

90 Lagoon Street



Lot size/ area	150.5m ²
Frontage width	8.2m
Lot depth	18.3m
Front set-back	1.2m
Rear setback	0m
Approx. FSR	

A stand-alone two storey Victorian terrace with a verandah added during the Edwardian period.



Northern Conservation Area
Area N6
Character Assessment Proforma

90 Lagoon Street

Painted brick arch detailing over windows

High pitch to roof

Large vertically emphasised double hung timber windows

2nd storey verandah with timber balustrade – later addition

Cream painted brick facade



Unsympathetic high timber gate

High front wall blocks visibility from the street

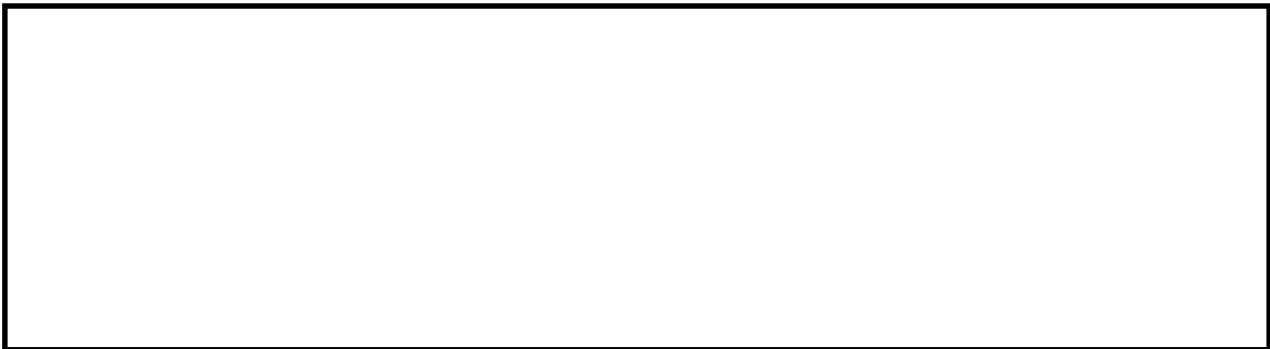


Northern Conservation Area
Area N6
Character Assessment Proforma

92 Lagoon Street



Lot size/ area	216m ²
Frontage width	9m
Lot depth	23.9m
Front set-back	1.6m
Rear setback	7.3m
Approx. FSR	





Northern Conservation Area
Area N6
Character Assessment Proforma

92 Lagoon Street

Green painted galva-
nised iron sheet roof

Transom
light

Pergola feature

Bullnose ve-
randah awn-
ing

Metal window
shutters

Grey painted
brick facade



Low rise timber
picket fence

Decorative cast iron columns sup-
porting verandah awning and framing
the front door



**Northern Conservation Area
Area N6
Character Assessment Proforma**

94 Lagoon Street

**1960's to
1990's**



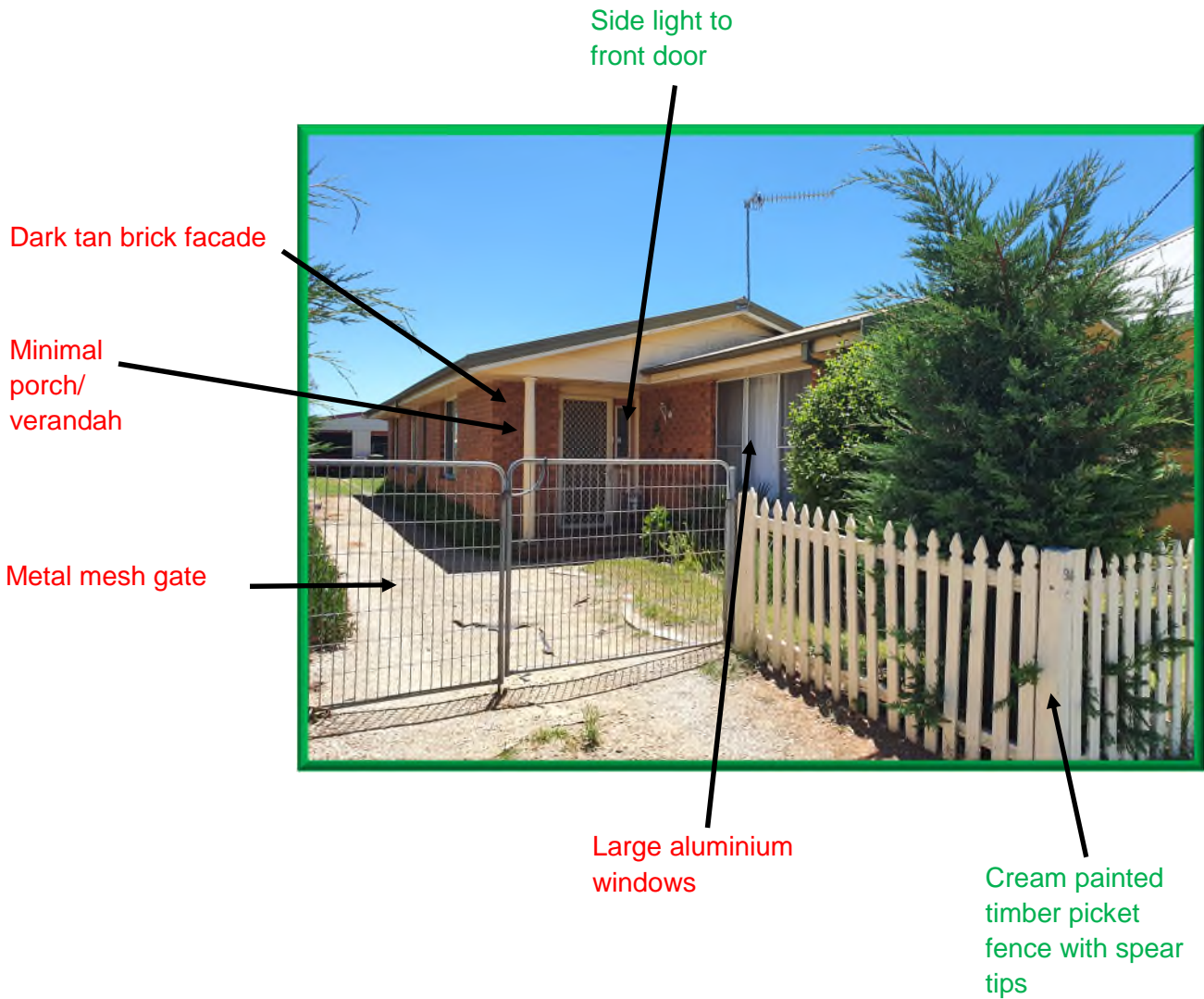
Lot size/ area	464.3m ²
Frontage width	11.1m
Lot depth	42.4m
Front set-back	2.4m
Rear setback	19m
Approx. FSR	

1970s property.



Northern Conservation Area
Area N6
Character Assessment Proforma

94 Lagoon Street





Northern Conservation Area
Area N6
Character Assessment Proforma

96 Lagoon Street



Lot size/ area	752.5m2
Frontage width	43.2m
Lot depth	45.6m
Front setback	0m
Rear setback	0m to 9m range
Approx. FSR	

Antiques Shop
Plain building with any original features highly degraded.



Northern Conservation Area
Area N6
Character Assessment Proforma

96 Lagoon Street





Northern Conservation Area
Area N6
Character Assessment Proforma

8 Joshua Street
Contributory Item

Victorian



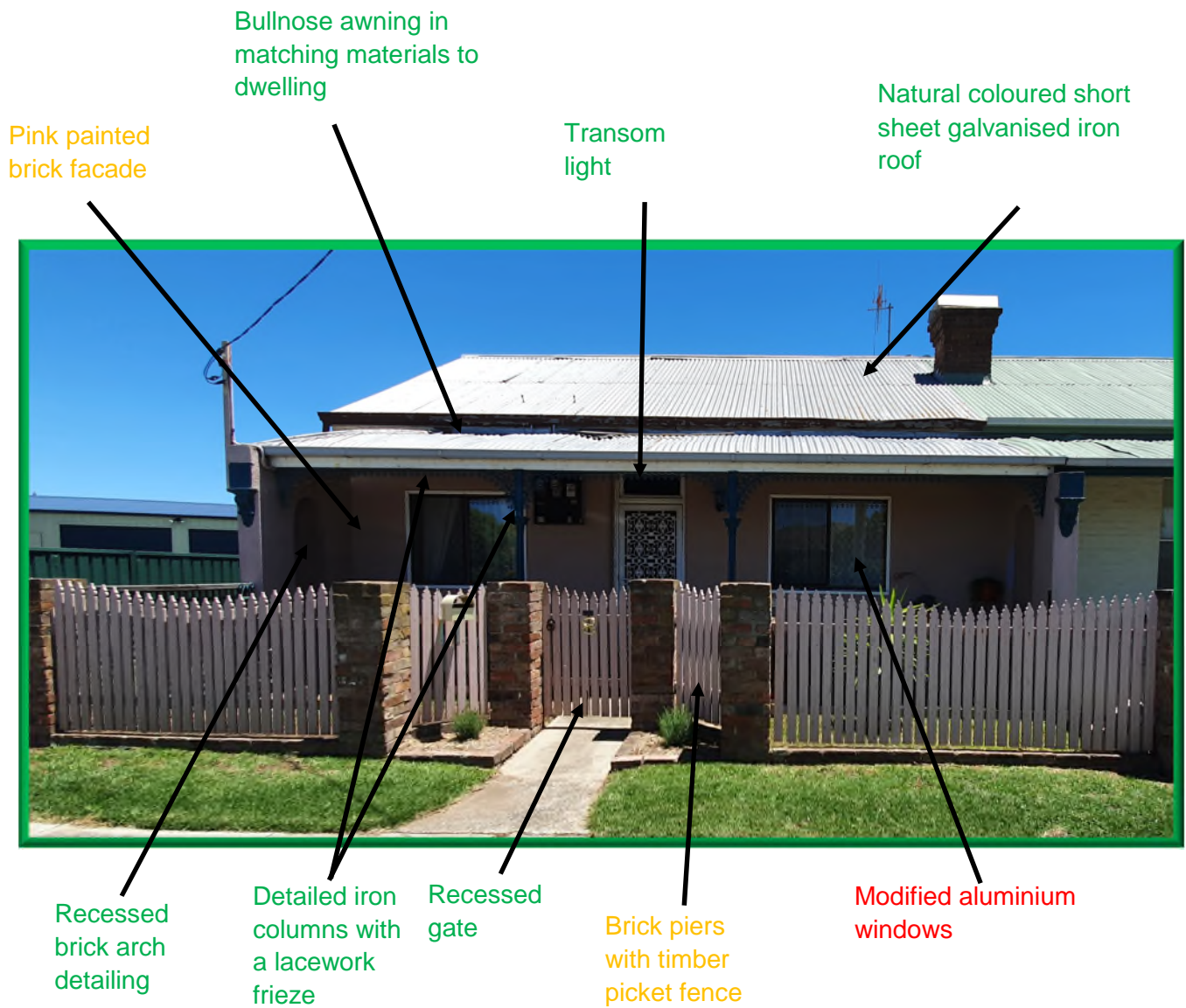
Lot size/ area	427m2
Frontage width	12.2m
Lot depth	35.2m
Front set-back	2.3m
Rear setback	15.5m
Approx. FSR	

Mid Victorian workers cottage in a terrace of three



Northern Conservation Area
Area N6
Character Assessment Proforma

8 Joshua Street
Contributory Item





Northern Conservation Area
Area N6
Character Assessment Proforma

10 Joshua Street
Contributory Item

Victorian



Lot size/ area	297.2m ²
Frontage width	8.5m
Lot depth	35.3m
Front set-back	2.3m
Rear setback	15.8m
Approx. FSR	

Mid Victorian workers cottage in a terrace of three



Northern Conservation Area
Area N6
Character Assessment Proforma

10 Joshua Street
Contributory Item





Northern Conservation Area
Area N6
Character Assessment Proforma

12 Joshua Street
Contributory Item



Lot size/ area	361.2m ²
Frontage width	10.1m
Lot depth	35.3m
Front set-back	2.3m
Rear setback	16.1m
Approx. FSR	

Mid Victorian workers cottage in a terrace of three



Northern Conservation Area
Area N6
Character Assessment Proforma

12 Joshua Street
Contributory Item

Bullnose awning in matching materials to dwelling
Red painted galvanized iron sheet roof
Recessed brick arch detailing



White painted brick facade

Moulded window sills with corbeling detailing

Simple iron supports to verandah awning and framing front door

Vertically emphasised timber sash windows

Low rise brick wall with pipe rail



**Northern Conservation Area
Area N6
Character Assessment Proforma**

14 Joshua Street

Inter
war



Lot size/ area	539m2
Frontage width	15.5m
Lot depth	35.3m
Front set-back	3.4m
Rear setback	14m
Approx. FSR	

A 1920`s Californian Bungalow Style property with later enclosures and cladding.



Northern Conservation Area
Area N6
Character Assessment Proforma

14 Joshua Street

Flat roof over enclosed verandah

Aluminium window awning



Aluminium windows

Enclosed verandah

Large horizontally emphasized span of glass

Low rise brick wall with corbeling detail

Wire mesh gate

White and cream weatherboarded façade



**Northern Conservation Area
Area N6
Character Assessment Proforma**

5 Wheatley Avenue

**1960's to
1990's**



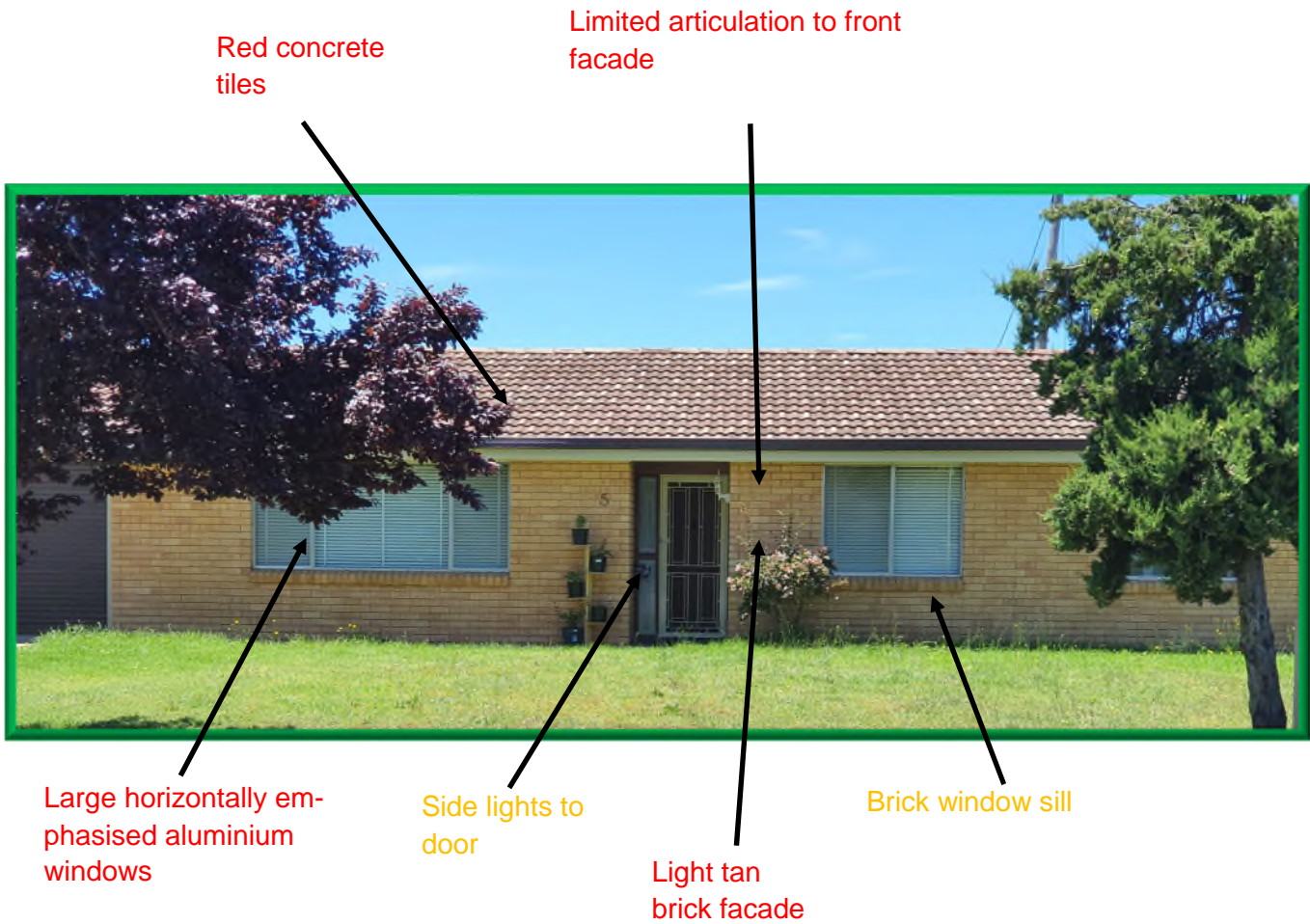
Lot size/ area	654.9m ²
Frontage width	16.1m
Lot depth	28m
Front set-back	7m to 11.2m range
Rear setback	9.1m
Approx. FSR	

A 1970s ranch style property.



Northern Conservation Area
Area N6
Character Assessment Proforma

5 Wheatley Avenue



Red concrete tiles

Limited articulation to front facade

Large horizontally emphasised aluminium windows

Side lights to door

Light tan brick facade

Brick window sill



**Northern Conservation Area
Area N6
Character Assessment Proforma**

7 Wheatley Avenue

**1960's to
1990's**



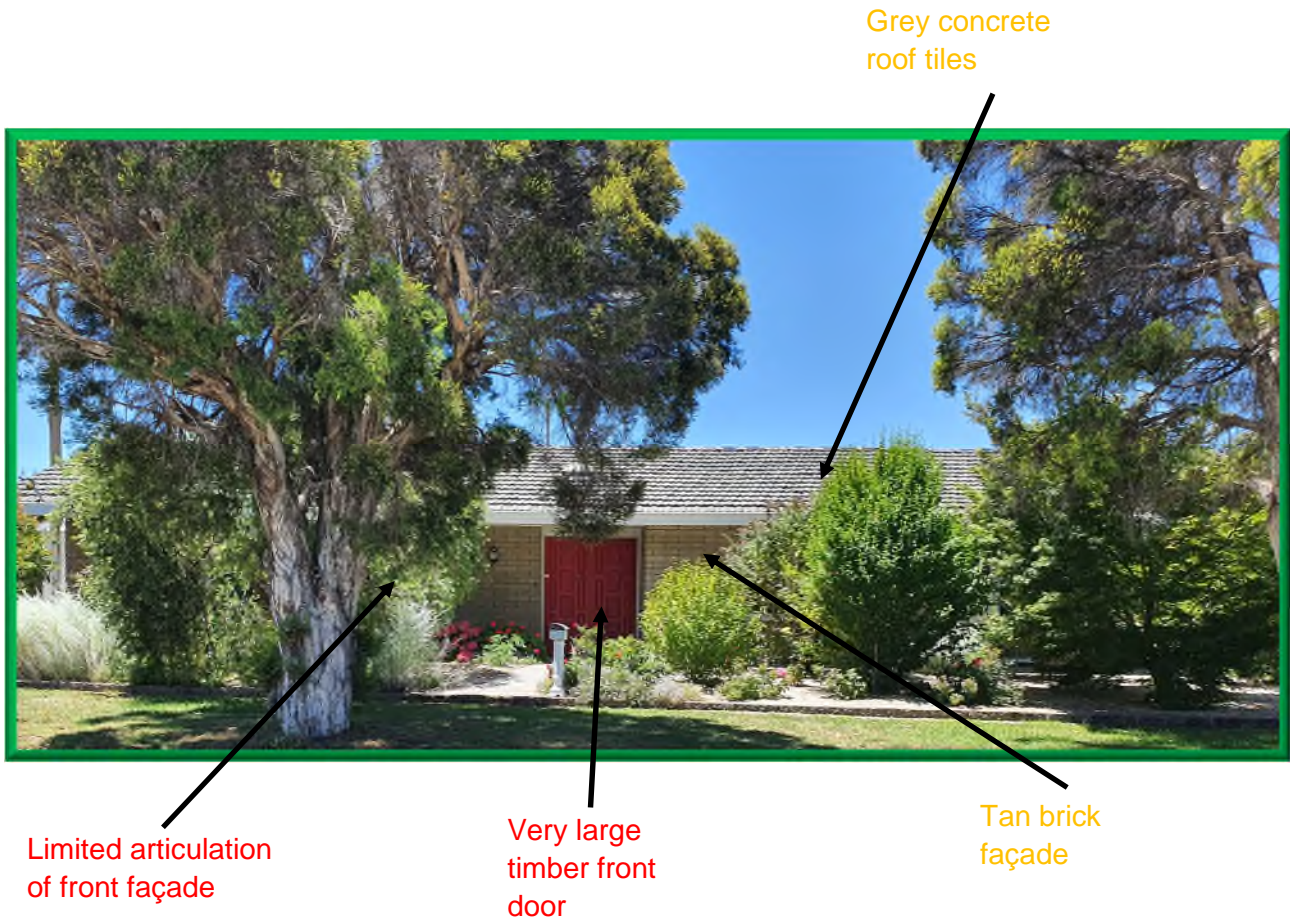
Lot size/ area	533.8m ²
Frontage width	26.9m
Lot depth	25m
Front set-back	2.7m to 5.8m range
Rear setback	7.4m to 8.6 m range
Approx. FSR	

A 1960`s ranch style property.



Northern Conservation Area
Area N6
Character Assessment Proforma

7 Wheatley Avenue





**Northern Conservation Area
Area N6
Character Assessment Proforma**

12 Ushers Lane



Lot size/ area	243.2m ²
Frontage width	13m
Lot depth	22.5m
Front set-back	4m
Rear setback	3.8m
Approx. FSR	

A late Victorian workers cottage which stands in poor condition.
The distinctive verandah gable is likely not original to the property.



Northern Conservation Area
Area N6
Character Assessment Proforma

12 Ushers Lane

Short simple chimney

Gable roof feature over doorway— a later addition to the property

Finial

Painted green galva-nised iron sheet roof



Painted brick and render window sills

Timber picket fence

Common red facing brick facade

Vertically emphasised double hung timber windows



Northern Conservation Area
Area N6
Character Assessment Proforma

14 Ushers Lane

Inter
war



Lot size/ area	534m ²
Frontage width	26m
Lot depth	20.5m
Front set-back	3.9m
Rear setback	0.3m to 2m range
Approx. FSR	

A 1930`s timber cottage



Northern Conservation Area
Area N6
Character Assessment Proforma

14 Ushers Lane

Brown concrete tiles

Flat roof awning to verandah

Hipped roof to gable



Cream color-bond facade

Metal pole and loop front fence

Partially enclosed verandah

Large horizontally emphasised aluminium windows



Northern Conservation Area
Area N6
Character Assessment Proforma

11 Ushers Lane



Lot size/ area	1768.3m ²
Frontage width	32.75m
Lot depth	36.8m
Front set-back	n/a
Rear setback	n/a
Approx. FSR	

A large relatively undeveloped site comprising four lots with largest being triangular in shape. The site has potential for two access points and is surrounded by existing residential development. The undeveloped character in a residential area combined with limited constraints, including no heritage items within close proximity, presents a good opportunity for medium rise residential redevelopment.



Northern Conservation Area
Area N6
Character Assessment Proforma

11 Ushers Lane





Northern Conservation Area
Area N6
Character Assessment Proforma

5 Ushers Lane

1960's to
1990's



Lot size/ area	269m ²
Frontage width	10.85m
Lot depth	28.7m
Front set-back	5.1m
Rear setback	7m
Approx. FSR	

A late Victorian workers cottage



Northern Conservation Area
Area N6
Character Assessment Proforma

5 Ushers Lane

Continuous roof plane forms verandah awning

Natural colour, short sheet corrugated iron sheet roof

White weather-boarded façade

Vertically emphasised windows



Medium rise timber picket fence

Simple timber posts supporting verandah and framing front door

Aluminium windows

Side car port projecting beyond front elevation



Northern Conservation Area
Area N6
Character Assessment Proforma

4 Ushers Lane

Victorian



Lot size/ area	293.1m2
Frontage width	11.3m
Lot depth	26.1m
Front set-back	2.7m
Rear setback	4.1m
Approx. FSR	

Property has been modified making the property date hard to determine.



Northern Conservation Area
Area N6
Character Assessment Proforma

4 Ushers Lane

Natural coloured galvanised metal sheet roof

Continuous roof plane forms verandah awning

Grey/blue color-bond facade



Mesh window screen

Low rise timber picket fence

Simple timber posts supporting verandah and framing front door



Northern Conservation Area
Area N6
Character Assessment Proforma

3 Ushers Lane

Victorian



Lot size/ area	330m2
Frontage width	11.1m
Lot depth	32.1m
Front set-back	4.6m
Rear setback	5.4m
Approx. FSR	

A late Victorian brick cottage modified by later additions.



Northern Conservation Area
Area N6
Character Assessment Proforma

3 Ushers Lane

Grey colorbond roof

High pitch to roof with broken span to form verandah awning



Modified windows

Partially enclosed verandah

Grey rendered brick and colorbond facade



Northern Conservation Area
Area N6
Character Assessment Proforma

1 Ushers Lane

1960's to
1990's



Lot size/ area	328m ²
Frontage width	11.1m
Lot depth	33.5m
Front set-back	4.9m
Rear setback	7.6m
Approx. FSR	





Northern Conservation Area
Area N6
Character Assessment Proforma

1 Ushers Lane

Common red facing brick facade



Louvered vent to gable apex

Little articulation of front facade

Brick paver driveway

Metal garage door overly dominant on front facade